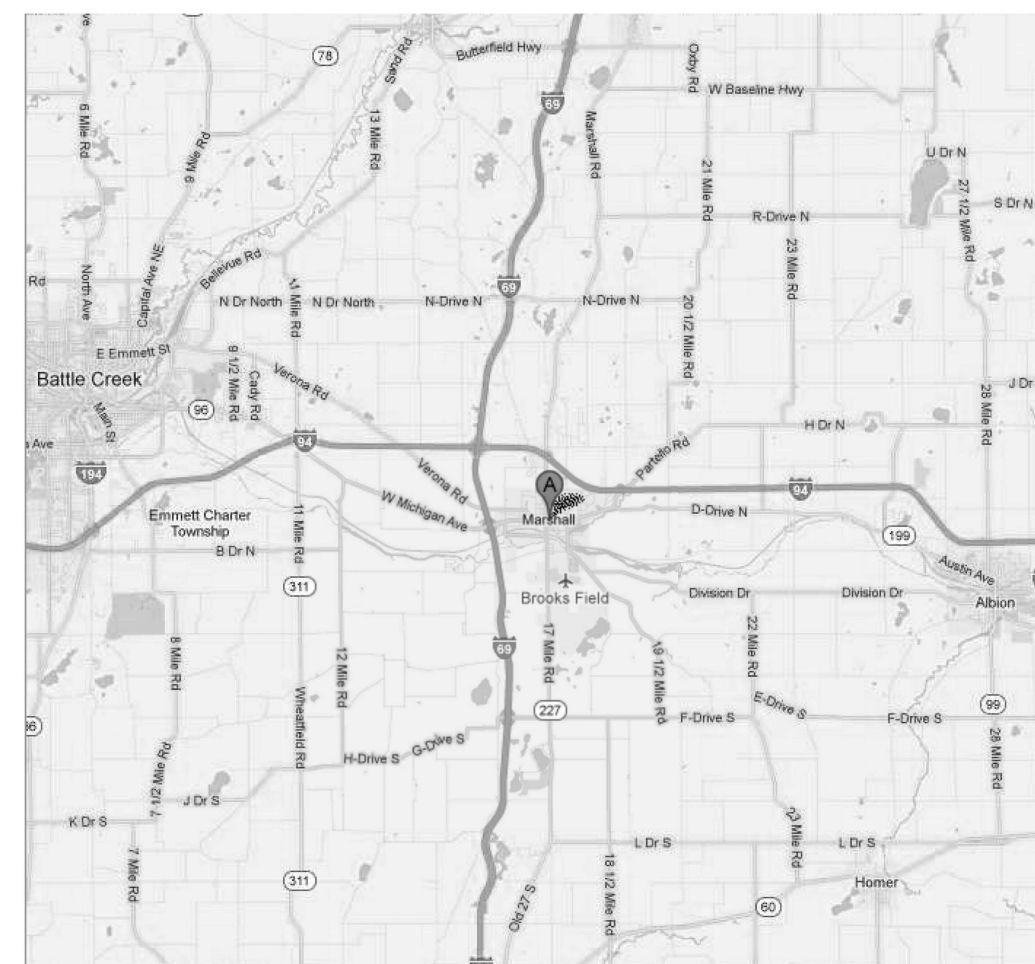
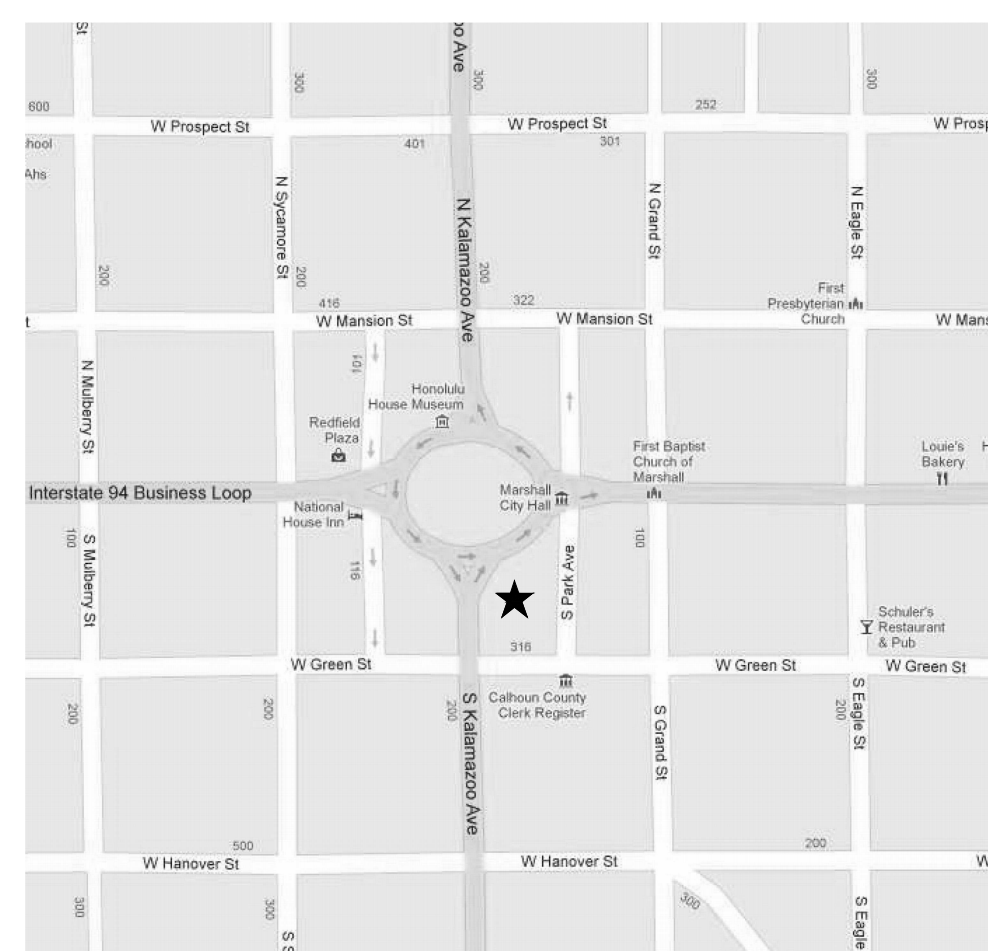


LOCATION MAP
NO SCALE



VICINITY MAP
NO SCALE



AREA MAP
NO SCALE

RENOVATIONS FOR: CITY OF MARSHALL CITY HALL PARKING LOT 323 WEST MICHIGAN AVENUE MARSHALL, MICHIGAN 49068 PROJECT NUMBER: 120108 ISSUE DATE: 03/10/2015 SITE PLAN REVIEW

REV	DESCRIPTION	DATE

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
000 General	
G-001	COVER SHEET
002 Civil	
C-001	EXISTING SITE PLAN
C-101	SITE DEMOLITION PLAN
C-102	PROPOSED SITE PLAN GRADING PLAN
C-103	PROPOSED SITE PLAN
C-501	GENERAL NOTES & STANDARD DETAILS
C-503	SOIL EROSION & SEDIMENT CONTROL (SESC) DETAILS
003 Landscape	
L-100	PROPOSED LANDSCAPE PLAN & DETAILS
005 Architectural	
A-100	ARCHITECTURAL DETAILS
011 Electrical	
E-100	PROPOSED SITE PHOTOMETRIC PLAN

SCALE:
PROJ # 120108
DATE: 03/10/2015
SHEET



WE RECYCLE

DESIGNED BY: ADAMS MARK 3/20/2015 5:53 PM
APPROVED BY: JONES WOODBY
CHECKED BY: JONES WOODBY
PLOTTED BY: ADAMS MARK 3/20/2015 5:53 PM
C:\2015\120108\120108.dwg - EXISTING SITE

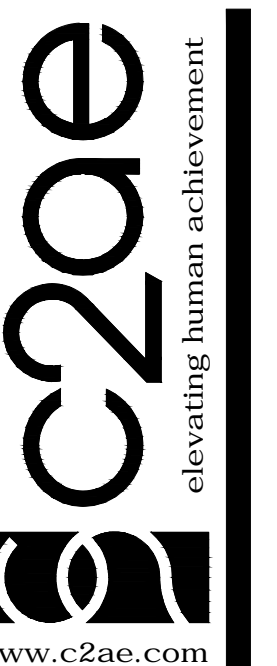


SITE BENCHMARK ELEVATION 916.86
TOP OF BIG ARM OF HYDRANT AT THE
SOUTHEAST CORNER OF S KALAMAZOO
AVENUE AND W GREEN STREET.

REFERENCE POINTS		
17	N281856.07	E12961856.82
18	N281766.44	E12961647.20
19	N281602.75	E12961832.96

THE SITE SURVEY IS ON THE MICHIGAN STATE PLANE
SYSTEM (NAD 83)

LEGAL DESCRIPTION:
Lots 5 & 6 of Block 22, plat of the City of Marshall,
Lower Village.
PARCEL NO. 53-000-535-00



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elevating human achievement

CITY OF MARSHALL
MARSHALL CITY HALL PARKING LOT
323 WEST MICHIGAN AVENUE

EXISTING SITE PLAN

REVISIONS

NO.	DATE	DESCRIPTION

SCALE: AS SHOWN

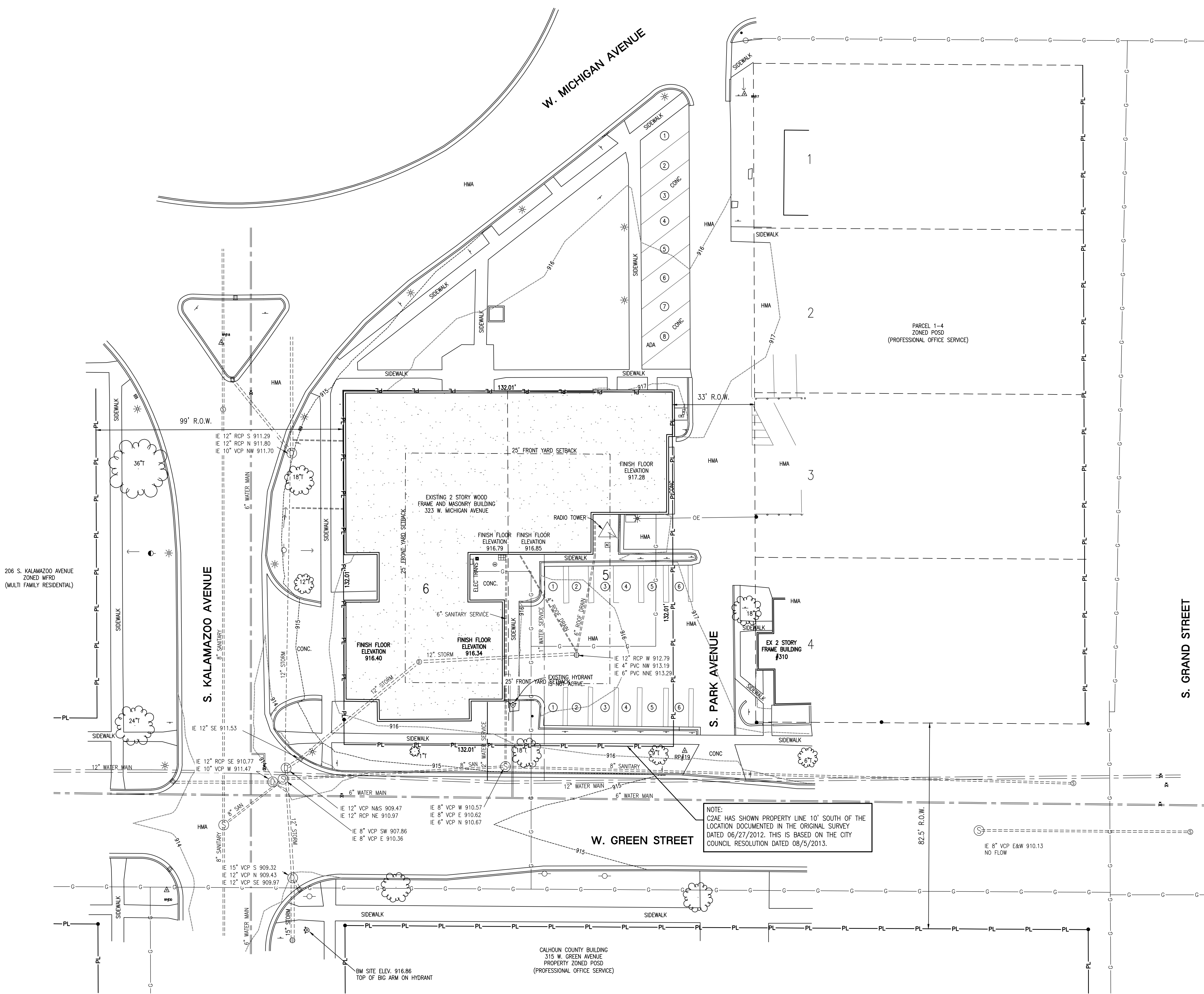
PROJ. #: 120108

DATE: 3/10/2015

SHEET

C-001

SITE PLAN REVIEW



GENERAL PLAN LEGEND

EX WATER MAIN	4" W
PROP WATER MAIN	4" W
EX SAN SEWER	S-3 4" W 12" SAN
PROP SANITARY SEWER	SAN 3 12" SAN
EX STORM SEWER	15" STM
PROP STORM SEWER	15" STM
CHAIN LINK FENCE	---
PROPERTY LINE	PL
FIBER OPTIC	FO
STREET LIGHT CONDUCTOR	SL
EX OVERHEAD ELECTRIC	OE
EX UNDERGROUND ELECTRIC	OE
EX GAS MAIN	G
EX TELEPHONE	T
EX MAJOR CONTOUR	705
EX MINOR CONTOUR	704

NOTE:
C2AE HAS SHOWN PROPERTY LINE 10' SOUTH OF THE
LOCATION DOCUMENTED IN THE ORIGINAL SURVEY
DATED 06/27/2012. THIS IS BASED ON THE CITY
COUNCIL RESOLUTION DATED 08/5/2013.





WE RECYCLE

DESIGNED BY: ADAMS, MARK 3/10/2015 5:15 PM
 CHECKED BY: JONES, RANDY 3/10/2015 10:00 AM
 PLOTTED BY: ADAMS, MARK 3/10/2015 5:15 PM
 FILE NAME: C:\Users\marka\OneDrive\Documents\Drawings\City Hall\Marshalls Lot Site Plan\1210107_100203_1\demolition.dwg - SITE DEMO

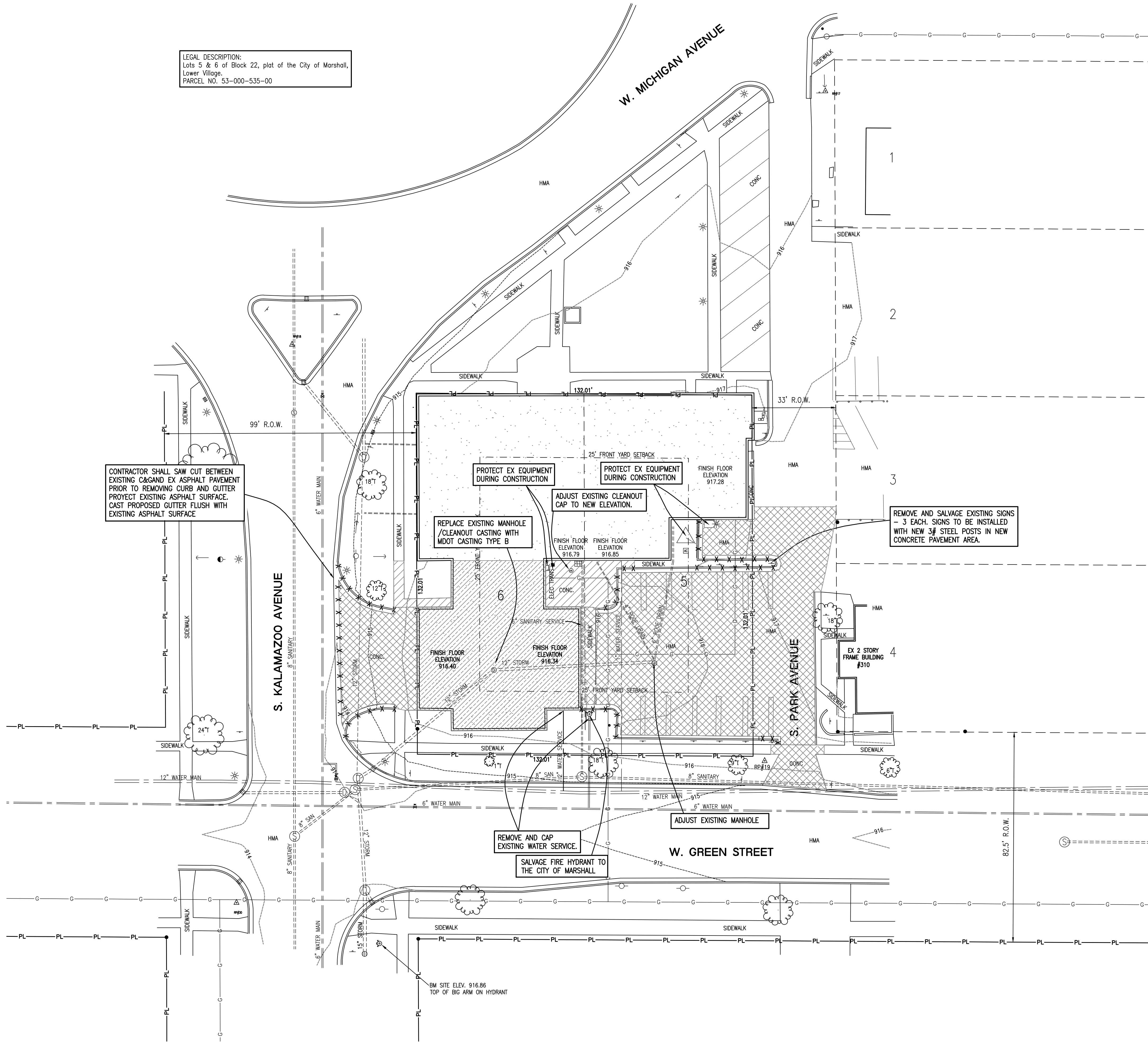


SITE BENCHMARK ELEVATION 916.86
 TOP OF BIG ARM OF HYDRANT AT THE
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THE SITE SURVEY IS ON THE MICHIGAN STATE PLANE SYSTEM (NAD 83)

LEGAL DESCRIPTION:
 Lots 5 & 6 of Block 22, plat of the City of Marshall,
 Lower Village.
 PARCEL NO. 53-000-535-00



CONTRACTOR SHALL SAW CUT BETWEEN EXISTING C&G AND EX ASPHALT PAVEMENT PRIOR TO REMOVING CURB AND GUTTER. PROTECT EXISTING ASPHALT SURFACE. CAST PROPOSED GUTTER FLUSH WITH EXISTING ASPHALT SURFACE.

PROTECT EX EQUIPMENT DURING CONSTRUCTION

PROTECT EX EQUIPMENT DURING CONSTRUCTION

REPLACE EXISTING MANHOLE / CLEANOUT CASTING WITH MDOT CASTING TYPE B

ADJUST EXISTING CLEANOUT CAP TO NEW ELEVATION.

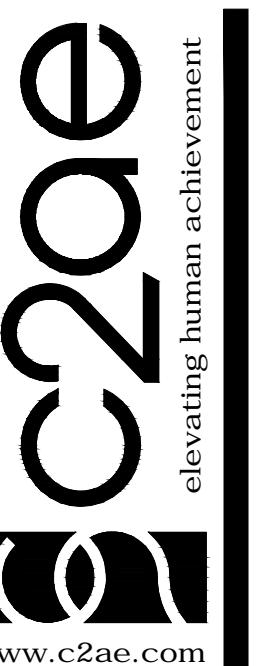
REMOVE AND SALVAGE EXISTING SIGNS - 3 EACH. SIGNS TO BE INSTALLED WITH NEW 3/4" STEEL POSTS IN NEW CONCRETE PAVEMENT AREA.

REMOVE AND CAP EXISTING WATER SERVICE. SALVAGE FIRE HYDRANT TO THE CITY OF MARSHALL

ADJUST EXISTING MANHOLE

LEGEND

	REMOVE EXISTING CONCRETE CURB AND GUTTER
	DEMOLISH EXISTING BUILDING
	REMOVE EXISTING BITUMINOUS SURFACE SAWCUT AT REMOVAL LIMITS
	REMOVE EXISTING CONCRETE SIDEWALK



CITY OF MARSHALL
 MARSHALL CITY HALL PARKING LOT
 925 WEST MICHIGAN AVENUE

SITE DEMOLITION PLAN

REVISIONS

NO.	DATE	DESCRIPTION

SCALE: AS SHOWN

PROJ. #: 1210108

DATE: 3/10/2015

SHEET

C-101

SITE PLAN REVIEW



STORM WATER MANAGEMENT CALCULATIONS

EXISTING SITE AREA
LOT 17,425 SFT
AREA BETWEEN FIRE STATION TO CURB LINE 5,869 SFT
TOTAL SITE AREA 23,294 SFT

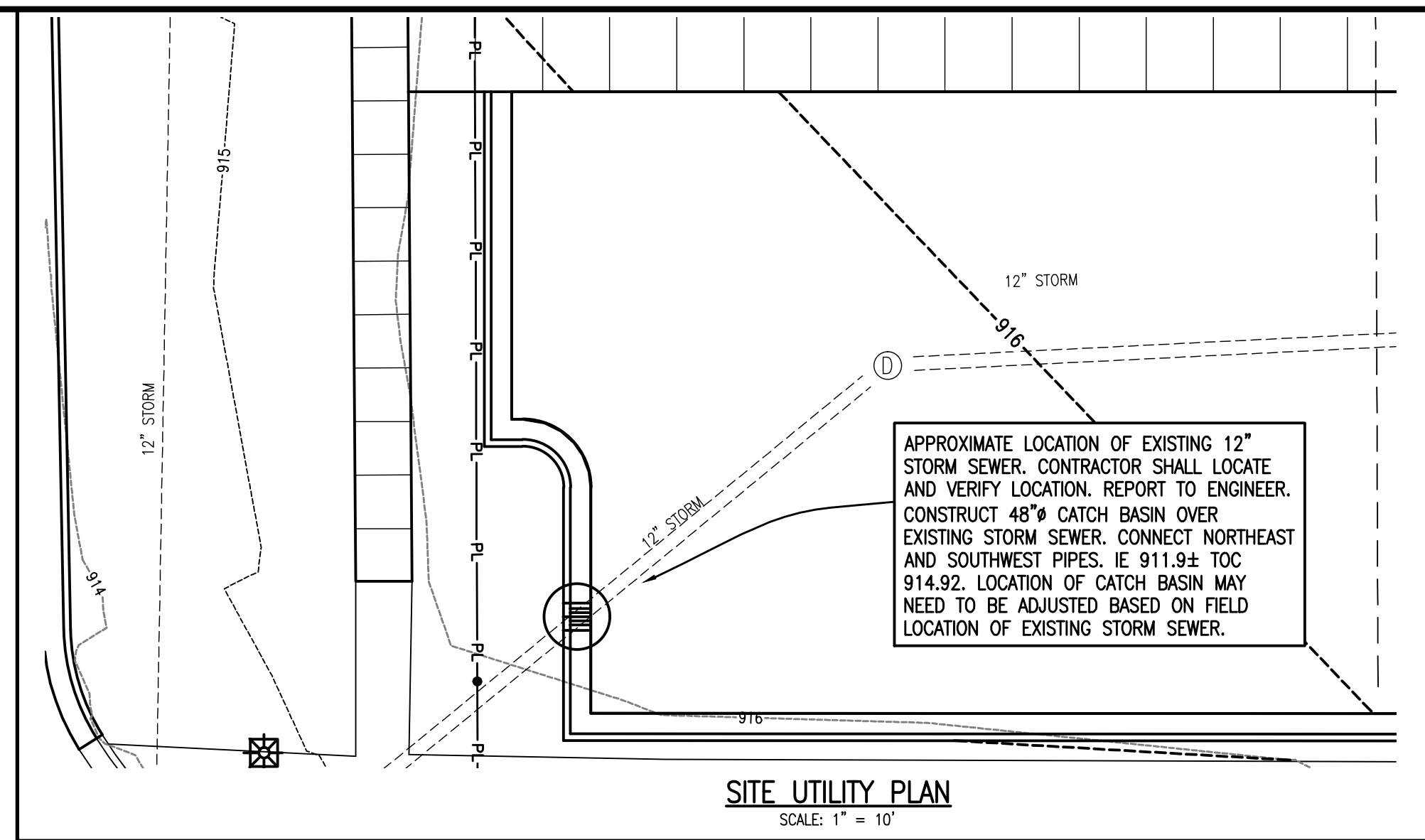
PRE-CONSTRUCTION SITE
PERVIOUS AREA 3,301 SFT @ C = 0.20
IMPERVIOUS AREA 19,993 SFT @ C = 0.90
PRE-CONSTRUCTION SITE C FACTOR = 0.80
PRE-CONSTRUCTION STORM FLOW C FACTOR = 0.80
TIME OF CONCENTRATION = 10.0 MINUTES, RAINFALL INTENSITY = 4.40 INCHES/HOUR (MDOT DRAINAGE MANUAL TABLE 3-B-19)
AREA = 0.535 ACRES
STORM FLOW = CIA = 1.88 CFS

POST CONSTRUCTION SITE
PERVIOUS AREA 1,161 SFT @ C = 0.20
IMPERVIOUS AREA 22,133 SFT @ C = 0.90
POST-CONSTRUCTION SITE C FACTOR = 0.87
POST-CONSTRUCTION STORM FLOW C FACTOR = 0.87
TIME OF CONCENTRATION = 10.0 MINUTES, RAINFALL INTENSITY = 4.40 INCHES/HOUR (MDOT DRAINAGE MANUAL TABLE 3-B-19)
AREA = 0.535 ACRES
STORM FLOW = CIA = 2.05 CFS

LEGEND

- MDOT TYPE F4 CONCRETE CURB AND GUTTER
- MDOT TYPE F4 CONCRETE CURB AND GUTTER - WASH OUT GUTTER PAN. TRANSITION FROM STANDARD GUTTER TO WASH OUT 10' EACH SIDE OF LIMITS NOTED.
- CONCRETE SIDEWALK. SIDEWALK SHALL BE 4" THICK UNLESS OTHERWISE NOTED. SEE SIDEWALK DETAIL FOR ADDITIONAL INFORMATION
- EXISTING CONTOUR
- NEW CONTOUR
- NEW SPOT ELEVATION
- NEW TOP OF CURB ELEVATION
- NEW LIP OF GUTTER ELEVATION
- NEW TOP OF WALK ELEVATION

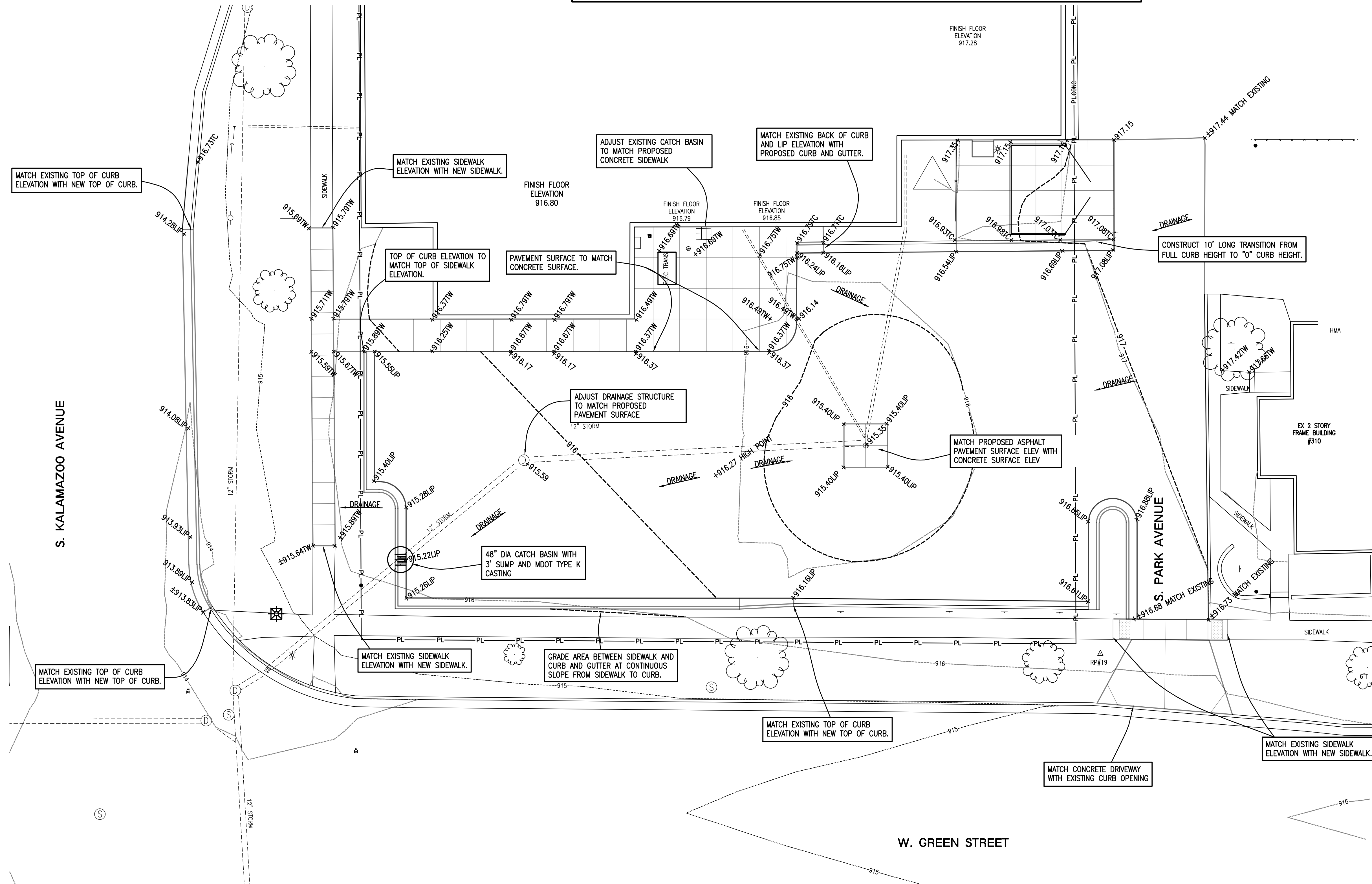
LEGAL DESCRIPTION:
Lots 5 & 6 of Block 22, plat of the City of Marshall, Lower Village.
PARCEL NO. 53-000-535-00



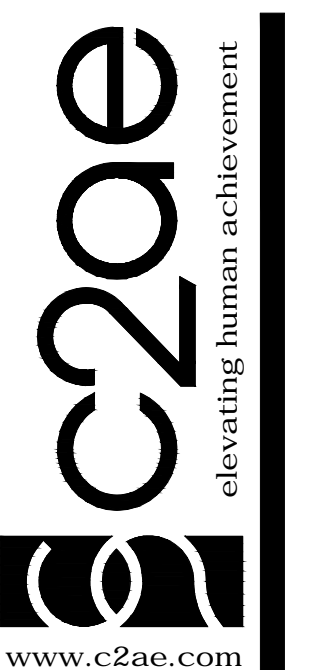
SITE BENCHMARK ELEVATION 916.86
TOP OF BIG ARM OF HYDRANT AT THE
SOUTHEAST CORNER OF S KALAMAZOO
AVENUE AND W GREEN STREET.

REFERENCE POINTS table with columns for point number, northing, easting, and elevation.

THE SITE SURVEY IS ON THE MICHIGAN STATE PLANE SYSTEM (NAD 83)



DESIGNED BY: ADAMS MARK 3/10/2015 5:53 PM
CHECKED BY: JAMES WOOD 3/10/2015 10:07 AM
APPROVED BY: JAMES WOOD 3/10/2015 10:07 AM
DATE: 3/10/2015



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CITY OF MARSHALL
MARSHALL CITY HALL PARKING LOT
325 WEST MICHIGAN AVENUE

GRADING AND UTILITY PLAN

REVISIONS table with columns for revision number, description, and date.

SCALE: AS SHOWN
PROJ. #: 120108
DATE: 3/10/2015
SHEET
C-102

SITE PLAN REVIEW



DESIGNED BY: ADAMS MARK 3/10/2015 5:53 PM
 CHECKED BY: JAMES HUBBY
 PLOTTED BY: ADAMS MARK 3/10/2015 5:53 PM
 FILE: C:\Projects\Marshall City Hall\Marshall City Hall.dwg
 SCALE: AS SHOWN
 PROJECT: 120108
 DATE: 3/10/2015
 SHEET: C-103

LEGAL DESCRIPTION:
 Lots 5 & 6 of Block 22, plot of the City of Marshall,
 Lower Village.
 PARCEL NO. 53-000-535-00

10 5 0 10 20
 FEET

SITE BENCHMARK ELEVATION 916.86
 TOP OF BIG ARM OF HYDRANT AT THE
 SOUTHEAST CORNER OF S KALAMAZOO
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 REFERENCE POINTS
 17 N281866.07 E12961856.82
 18 N281766.44 E12961647.20
 19 N281602.75 E12961832.96
 THE SITE SURVEY IS ON THE MICHIGAN STATE PLANE
 SYSTEM (NAD 83)



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CITY OF MARSHALL
 MARSHALL CITY HALL PARKING LOT
 923 WEST MICHIGAN AVENUE

PROPOSED SITE PLAN

REVISIONS

NO.	DATE	DESCRIPTION

SCALE: AS SHOWN

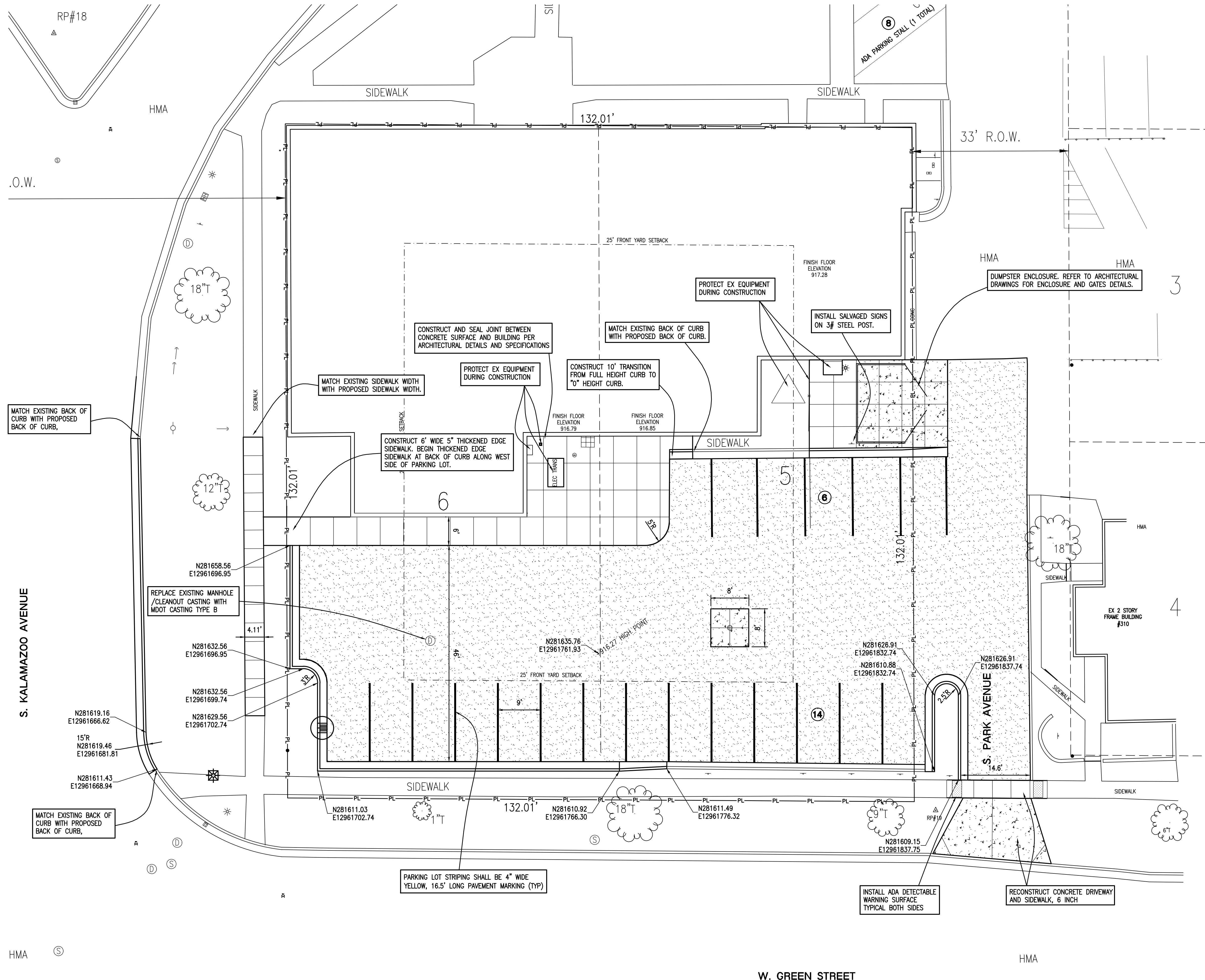
PROJ. #: 120108

DATE: 3/10/2015

SHEET

C-103

SITE PLAN REVIEW



LEGEND

- MDOT TYPE F4 CONCRETE CURB AND GUTTER
- MDOT TYPE F4 CONCRETE CURB AND GUTTER - WASH OUT GUTTER PAN. TRANSITION FROM STANDARD GUTTER TO WASH OUT 10' EACH SIDE OF LIMITS NOTED.
- CONCRETE PAVEMENT. PAVEMENT SHALL BE 8" THICK UNLESS OTHERWISE NOTED.
- CONCRETE SIDEWALK. SIDEWALK SHALL BE 4" THICK UNLESS OTHERWISE NOTED.
- HMA PAVEMENT - SEE PARKING LOT HMA PAVEMENT SECTION FOR ADDITIONAL INFORMATION
- 14 NUMBER OF PARKING SPACES

ZONING ANALYSIS TABLE
 PROJECT ADDRESS - PROJECT NAME

ZONING CRITERIA	STANDARD	PROPOSED	CONFORMITY
ZONING DISTRICT	POSD	POSD	✓
MINIMUM SITE AREA	NA	17,424 SFT	✓
MINIMUM LOT WIDTH	65	132.01'	✓
MINIMUM SITE AREA PER PERSON	NA		
MINIMUM BUILDING SIZE	672 SFT	8,100 SFT	✓
MAXIMUM BUILDING HEIGHT	35'	60'±	✓
TOTAL FLOOR SPACE RATIO	1.5	0.9	✓
MAXIMUM GROUND COVER	60%	95%	✓
MINIMUM DISTANCE BETWEEN BUILDINGS	NA	NA	NA
MINIMUM BUILDING SETBACKS			
FRONT YARD (SOUTH)	25'	49.5'	✓
FRONT YARD (WEST)	25'	0.26'	✓
SIDE YARD (NORTH)	15'	0	✓
REAR YARD (EAST)	NOT REQUIRED	0	✓
PARKING REQUIREMENTS			
MINIMUM SPACES REQUIRED	8	28	✓
PARKING SPACE WIDTH	9'	9'	✓
PARKING SPACE LENGTH	18'	18'	✓
DRIVE AISLE WIDTH	24'	24'	✓
ADA SPACES REQUIRED	1	1	✓
MINIMUM PARKING SETBACKS			
FRONT YARD (SOUTH)	25'	0.7'	✓
FRONT YARD (WEST)	25'	1.7'	✓
SIDE YARD (NORTH)	NA		
REAR YARD (EAST)	NA		

SITE DATA

% COVERAGE ANALYSIS OF CONSTRUCTION FOOTPRINT/GRADING LIMITS
 EXISTING IMPERVIOUS SURFACE: 13,370 SFT
 PROPOSED IMPERVIOUS SURFACE: 11,330 SFT
 IMPERVIOUS SURFACE REDUCTION: 15.2%
 EX. FIRE STATION AREA (REMOVED) 3,586 SFT
 EXISTING OFFICE BUILDING AREA 8,100 SFT
 TOTAL 11,586 SFT
 EXISTING OFFICE BUILDING FLOOR AREA (2 STORIES) 15,815 SFT
 TOTAL 15,815 SFT
 EXISTING ON-SITE PARKING
 NORTH OF OFFICE BUILDING 8 SPACES
 FIRE STATION LOT 12 SPACES
 TOTAL EXISTING PARKING 20 SPACES
 PROPOSED ON-SITE PARKING
 NORTH OF OFFICE BUILDING 8 SPACES
 FIRE STATION LOT 20 SPACES
 TOTAL PROPOSED PARKING 28 SPACES
 REQUIRED PARKING - 1 SPACE PER 1000 SFT BUILDING AREA
 16 SPACES - 15 REGULAR, 1 BARRIER FREE



GENERAL NOTES

- 1. BENCH MARKS**
USE TWO BENCH MARKS FOR VERIFICATION OF GRADE FOR ALL CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING ADDITIONAL BENCH MARKS AS REQUIRED TO MEET THIS REQUIREMENT.
- 2. EXISTING SITE IMPROVEMENTS**
UNLESS SPECIFICALLY NOTED FOR REMOVAL ON THE PLANS, ALL SIDEWALKS, DRIVES, CULVERTS, DRAINAGE STRUCTURES AND ABOVE GROUND UTILITIES SHALL BE PROTECTED. ALL SUCH UTILITIES DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED WITH NEW BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- 3. RESTORATION**
RESTORATION SHALL CONSIST OF PLACEMENT OF MINIMUM 4" OF TOPSOIL, SEED, FERTILIZER, MULCH AND MULCH ADHESIVE PER THE SPECIFICATIONS. ALL AREAS DISTURBED AS A RESULT OF CONSTRUCTION OPERATIONS SHALL BE RESTORED.
- 4. UNDERGROUND UTILITIES**
FOR LOCATION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL DIAL 1-800-482-7171 A MINIMUM OF 72 HOURS PRIOR TO EXCAVATING IN THE VICINITY OF UTILITY LINES. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE PART OF THE "MISS DIG" ALERT SYSTEM.
- 5. EROSION CONTROL**
EXISTING AND PROPOSED CATCH BASINS WITHIN CONTRACT LIMITS SHALL BE PROTECTED FROM INTRUSION OF SEDIMENT WITH FILTER FABRIC SILT COLLECTOR. THE TOE OF SLOPES AT DRAINAGE CROSSINGS SHALL BE PROTECTED FROM SILT INTRUSION BY MEANS OF A SILT FENCE OR STAKED STRAW BALES. ADDITIONAL ITEMS ARE NOTED ON THE CONSTRUCTION DRAWINGS.
- 6. SAWCUTTING PAVEMENT**
EXISTING BITUMINOUS AND CONCRETE SURFACES SHALL BE SAWCUT TO THE LIMITS OF CONSTRUCTION OR AS DIRECTED BY THE ENGINEER. IF THE EDGE IS DAMAGED AFTER SAWCUTTING, THE EDGE SHALL BE RECUT AS DIRECTED BY THE ENGINEER.
- 7. PROTECT EXISTING UTILITIES**
DURING CONSTRUCTION OF PROPOSED UTILITIES, EXISTING STORM AND SANITARY SEWER LATERALS MAY BE DAMAGED. THE DAMAGED LATERALS SHALL BE REPAIRED AS FOLLOWS:

REMOVE THE DAMAGED SECTION OF PIPE TO A SAWEED EDGE OR JOINT, REPLACE THE DAMAGED SECTION OF PIPE WITH THE SAME TYPE OF PIPE MATERIAL AS EXISTS, AND PLACE ELASTOMERIC COUPLINGS AT EACH END. NO PAYMENT FOR THIS WORK WILL BE MADE BY THE OWNER.
- 8. CONSTRUCTION STAKING**
THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING ALL CONSTRUCTION STAKING REQUIRED FOR THE CONSTRUCTION. OWNER WILL PROVIDE ELECTRONIC FILE WITH DESIGN INFORMATION, IF REQUESTED.
- 9. SOIL BORINGS**
THE SOIL BORING LOGS REPRESENT POINT INFORMATION. PRESENTATION OF THIS INFORMATION IN NO WAY IMPLIES THAT SUBSURFACE CONDITIONS ARE THE SAME OTHER THAN AT THE EXACT LOCATION OF THE BORINGS. THE LOGS ARE CONTAINED IN THE APPENDIX OF THE SPECIFICATIONS.
- 10. RECORD DRAWINGS**
CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AND FURNISHING TO THE OWNER AS-BUILT LOCATIONS AND ELEVATIONS OF ALL UTILITY CONSTRUCTION. RECORD DRAWINGS WILL BR PREPARED BY THE THE OWNER.

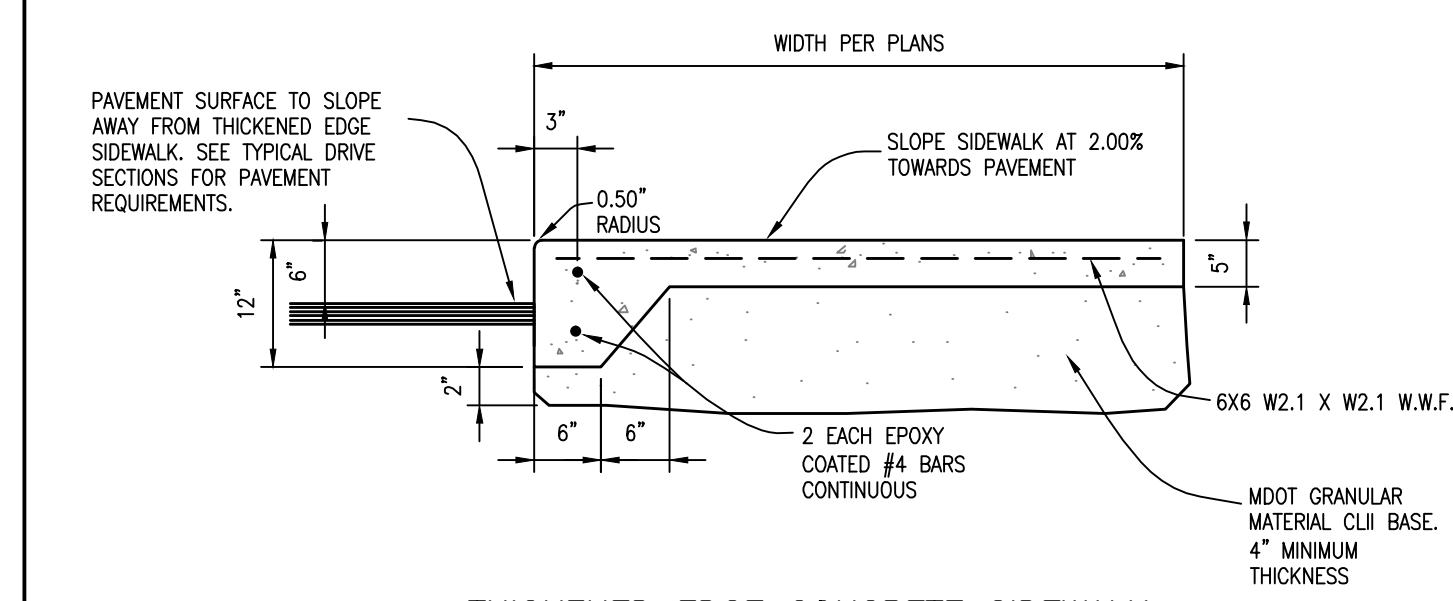
PUBLIC UTILITIES

THE EXISTING UTILITIES LISTED BELOW AND SHOWN ON THESE PLANS REPRESENT THE BEST INFORMATION AVAILABLE. THIS INFORMATION DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO VERIFY ITS ACCURACY, COMPLETENESS AND THE LOCATION OF EXISTING UTILITIES.

UTILITY	UTILITY COMPANY	CONTACT PERSON(S)	PHONE NUMBER
	CITY OF MARSHALL ENGINEERING/PUBLIC SERVICES DEPARTMENT 323 W MICHIGAN AVE. MARSHALL, MI 49068	CARL FEDDERS	269-781-3985
WATER		AARON AMBLER	269-781-2210
SANITARY		MIKE HACKWORTH	269-727-0053
STORM		MIKE HACKWORTH	269-727-0053
ELECTRIC		DENNIS DIXON	269-789-3985
GAS	CONSUMERS ENERGY LOCAL OFFICE: 2500 E. CORK ST. KALAMAZOO, MI 49001	TERRY FIELDS	269-337-2270
	EMERGENCY CALLS		1-800-477-5050
TELEPHONE	AT&T 337 ABBOTT ST. EAST LANSING, MI 48823	LACEY JOHNSON	269-384-4472
CABLE TELEVISION	WOW 2512 LANSING ROAD LANSING, MI 48813	BETTY GINGAS	517-319-3137
SESC	CALHOUN COUNTY ROAD DEPARTMENT 13300 15 MILE ROAD MARSHALL, MI 49068	ERIN CUMMINGS	269-781-9841

NOTE: TRANSVERSE AND LONGITUDINAL JOINTS TO MEET THE FOLLOWING REQUIREMENTS UNLESS OTHERWISE DETAILED ON THE DRAWINGS.

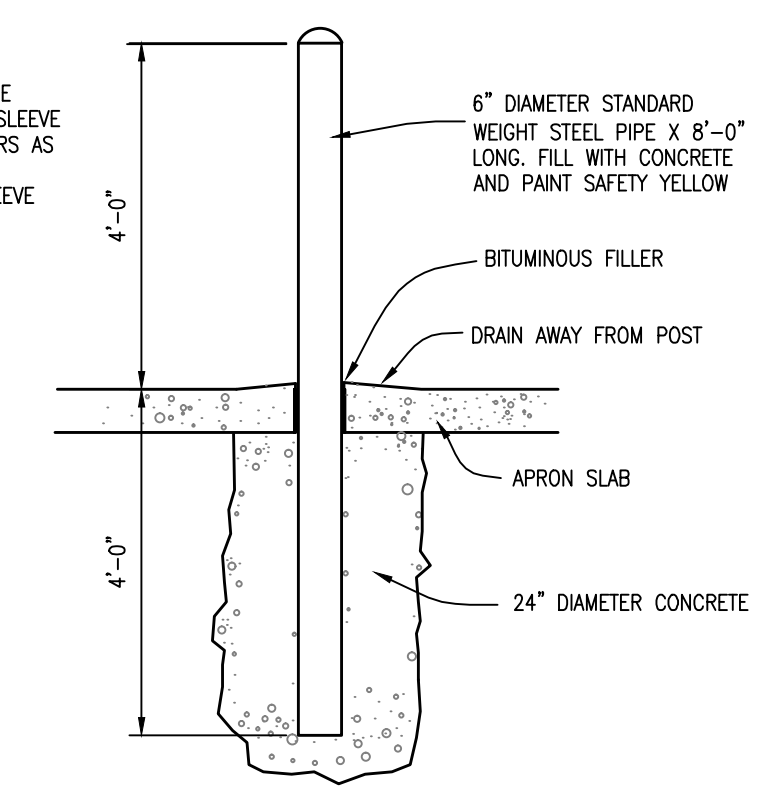
1. TRANSVERSE JOINT SPACING TO MATCH SIDEWALK WIDTH FOR SIDEWALKS 7'-0" AND LESS IN WIDTH.
2. TRANSVERSE JOINT SPACING FOR SIDEWALKS IN EXCESS OF 7'-0" IN WIDTH TO BE 1/2 THE SIDEWALK WIDTH.
3. FOR SIDEWALKS WIDER THAN 7'-0", SAWCUT A LONGITUDINAL JOINT ALONG THE CENTERLINE OF THE SIDEWALK.
4. INSTALL EXPANSION JOINTS AT 50' INTERVALS.



THICKENED EDGE CONCRETE SIDEWALK NO SCALE

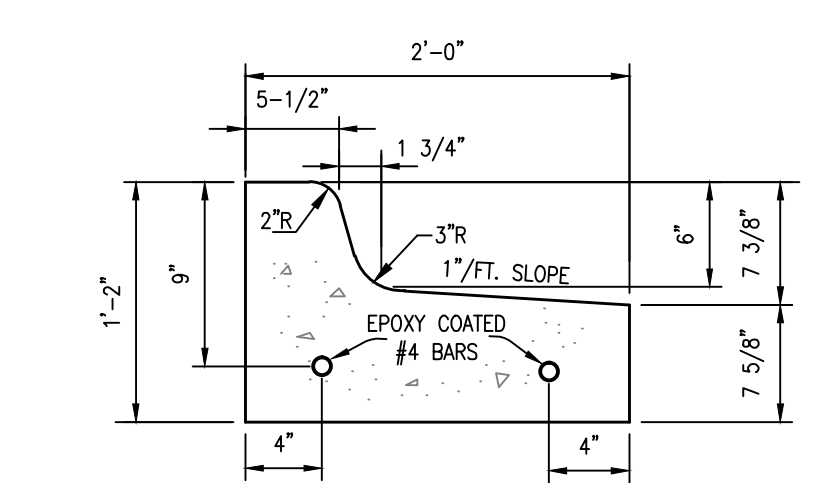
APPROVED DATE: 2-01-12
DETAIL: 801-1B

INSTALL A POST SLEEVE ON THE GUARD POST AFTER PAINTING. SLEEVE TO BE HDPE WITH UV INHIBITORS AS MANUFACTURED BY GLOBAL INDUSTRIAL INC. COLOR OF SLEEVE TO BE SAFETY YELLOW.

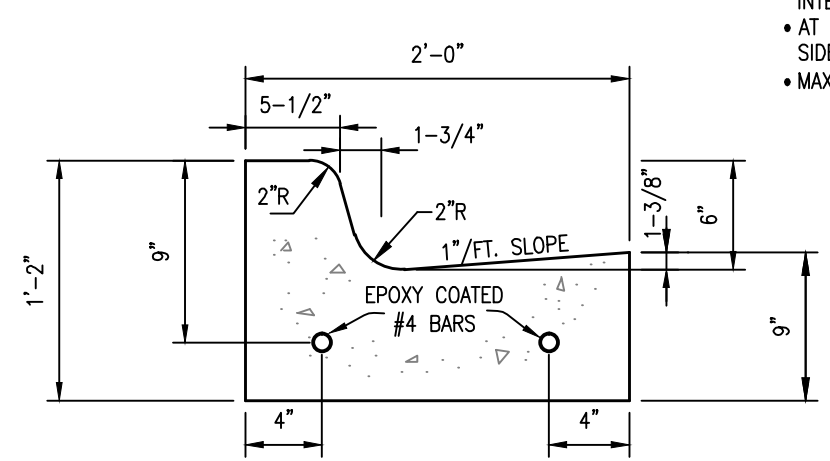


GUARD POST DETAIL NO SCALE

APPROVED DATE: 2-01-12
DETAIL: 807-1B



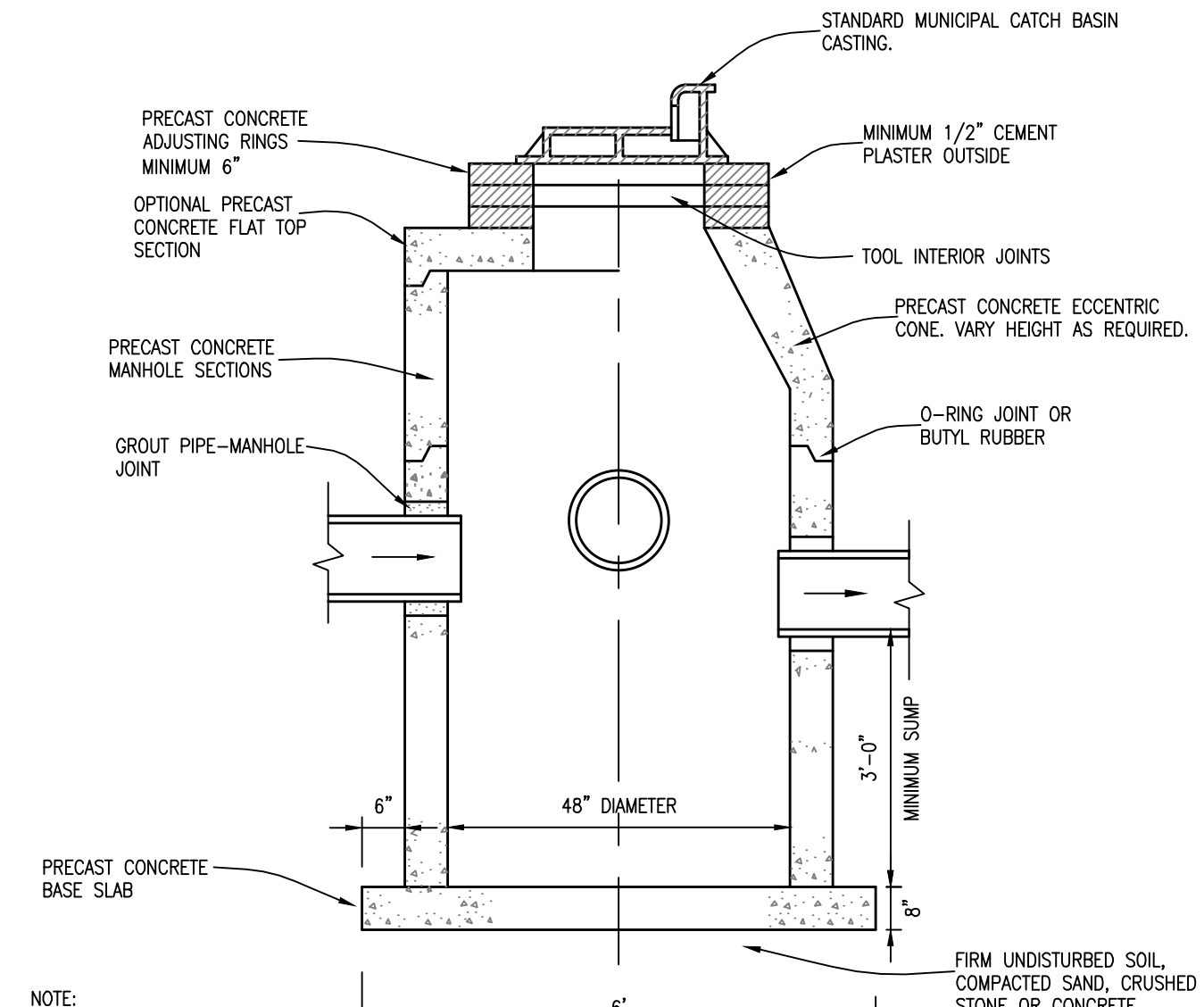
DETAIL F4 MODIFIED (WASHOUT CURB & GUTTER) NO SCALE



DETAIL F4 MDOT CURB & GUTTER DETAIL F4 NO SCALE

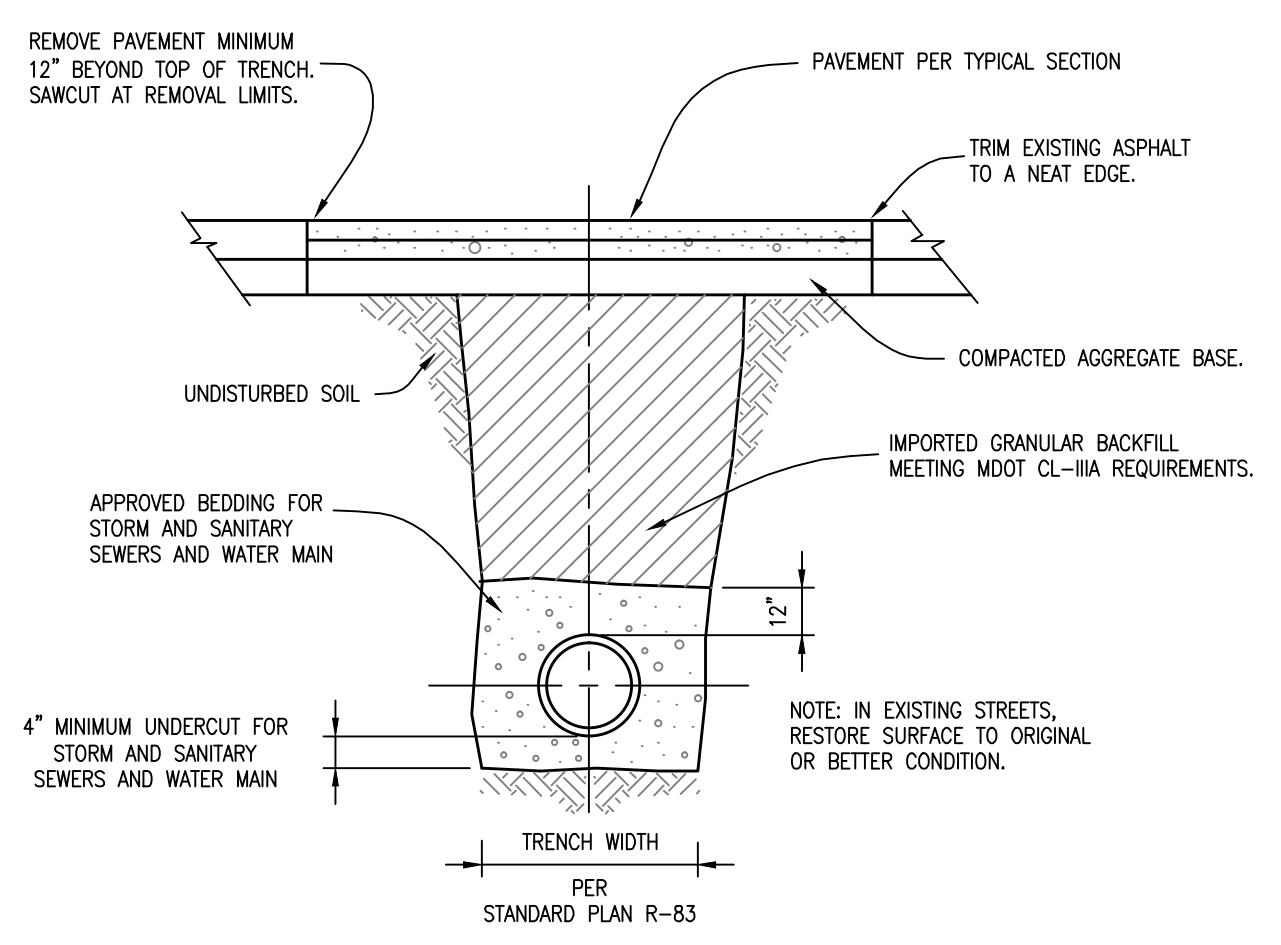
- JOINT SPACING
1. CONTRACTION JOINTS - 10' SPACING
 2. 1" FIBER JOINTS
- AT SPRING POINTS OF RADIUS AT INTERSECTIONS
 - AT CONTRACTION JOINTS EACH SIDE OF CATCH BASINS
 - MAXIMUM 400' INTERVALS

APPROVED DATE: 2-01-12
DETAIL: 802-1B



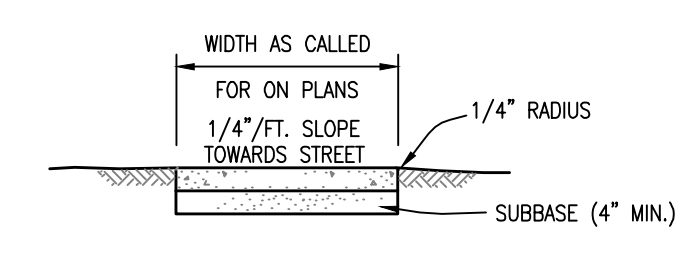
STANDARD CATCH BASIN NO SCALE

APPROVED DATE: 2-01-12
DETAIL: 403-2B



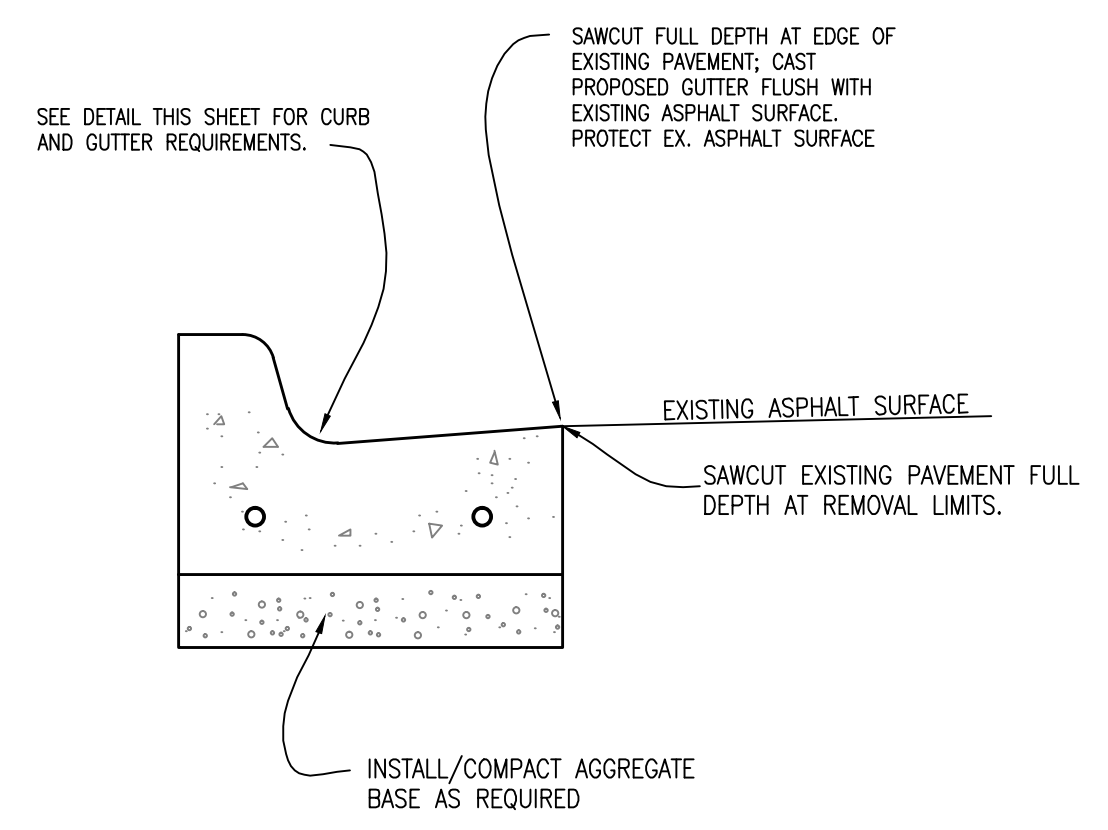
TRENCH BACKFILL UNDER ROADWAY NO SCALE

APPROVED DATE: 2-01-12
DETAIL: 401-2B

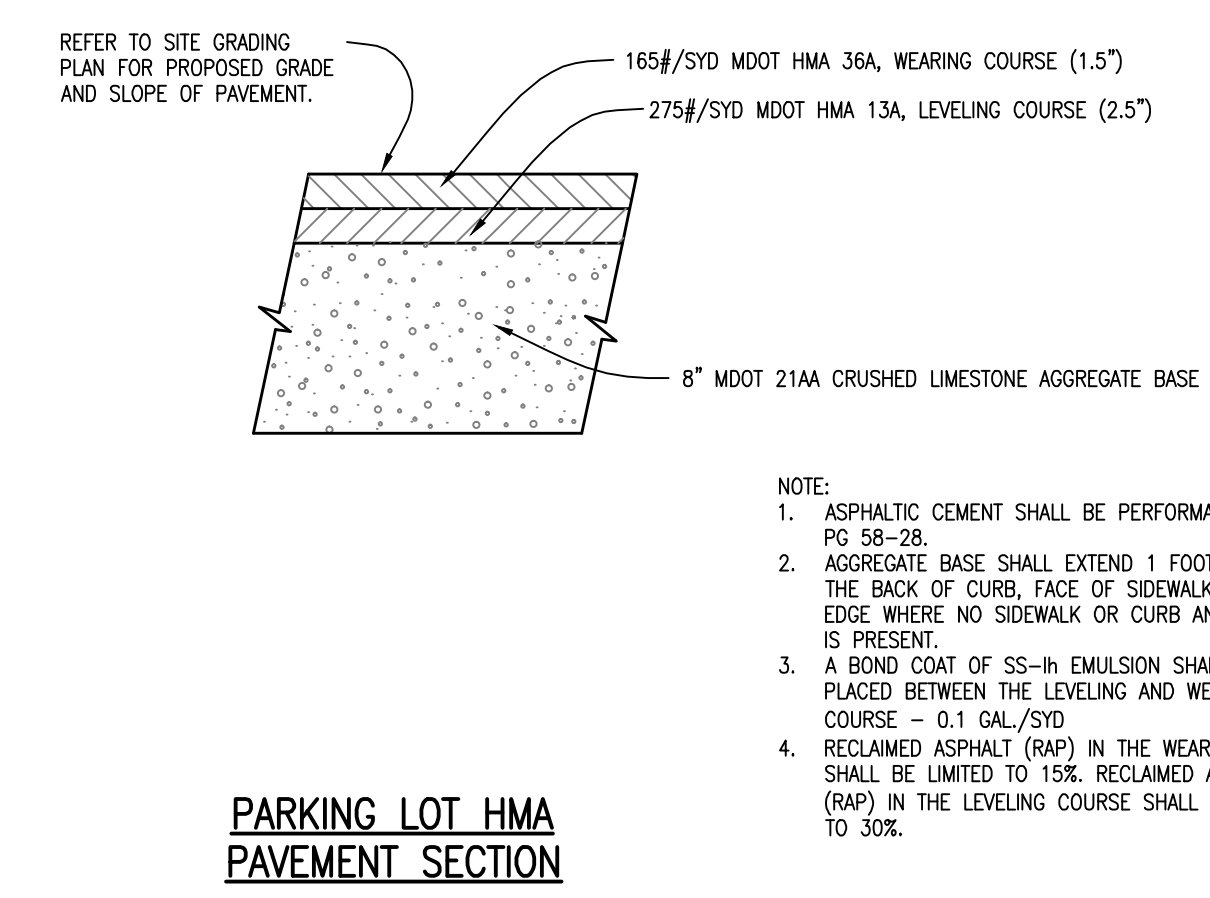


4 inch CONCRETE SIDEWALK NO SCALE

APPROVED DATE: 2-01-12
DETAIL: 801-2B



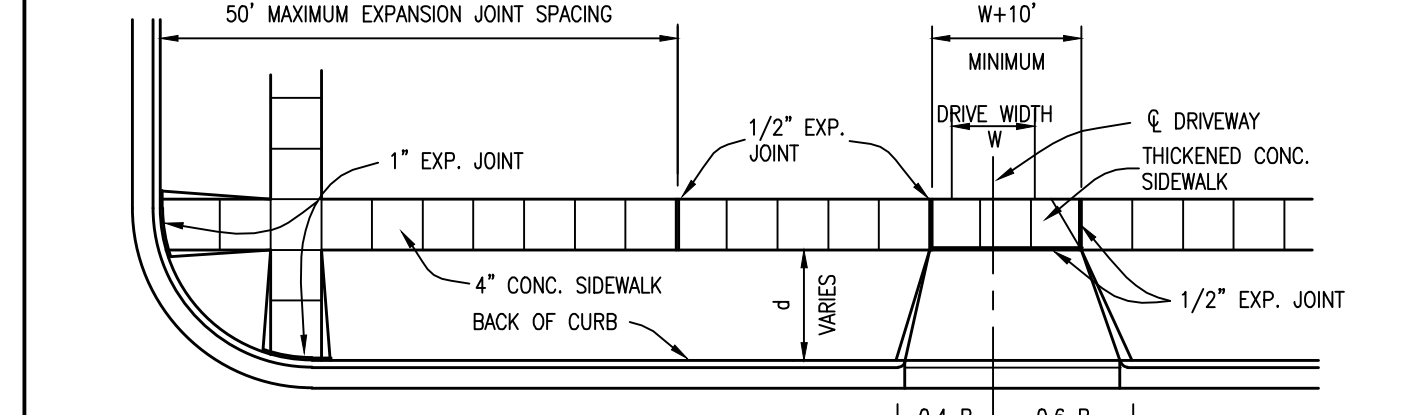
PAVEMENT REPLACEMENT AT NEW CURB AND GUTTER NO SCALE



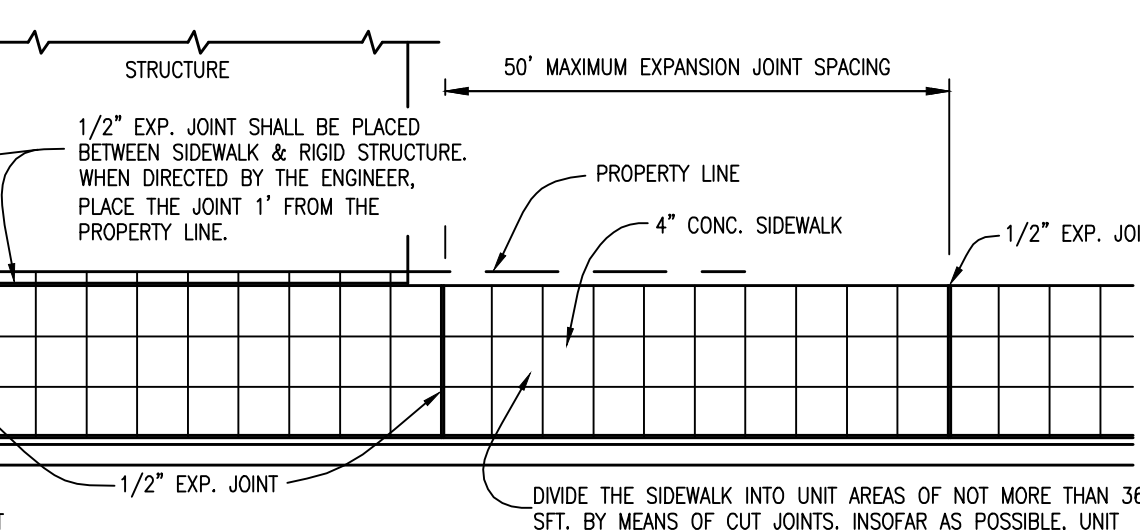
PARKING LOT HMA PAVEMENT SECTION NO SCALE

- NOTE:
1. ASPHALTIC CEMENT SHALL BE PERFORMANCE GRADE PG 58-28.
 2. AGGREGATE BASE SHALL EXTEND 1 FOOT BEYOND THE BACK OF CURB, FACE OF SIDEWALK OR PAVED EDGE WHERE NO SIDEWALK OR CURB AND GUTTER IS PRESENT.
 3. A BOND COAT OF SS-19 EMULSION SHALL BE PLACED BETWEEN THE LEVELING AND WEARING COURSE - 0.1 GAL./SYD
 4. RECLAIMED ASPHALT (RAP) IN THE WEARING COURSE SHALL BE LIMITED TO 15%; RECLAIMED ASPHALT (RAP) IN THE LEVELING COURSE SHALL BE LIMITED TO 30%.

APPROVED DATE: 2-01-12
DETAIL: 802-1B

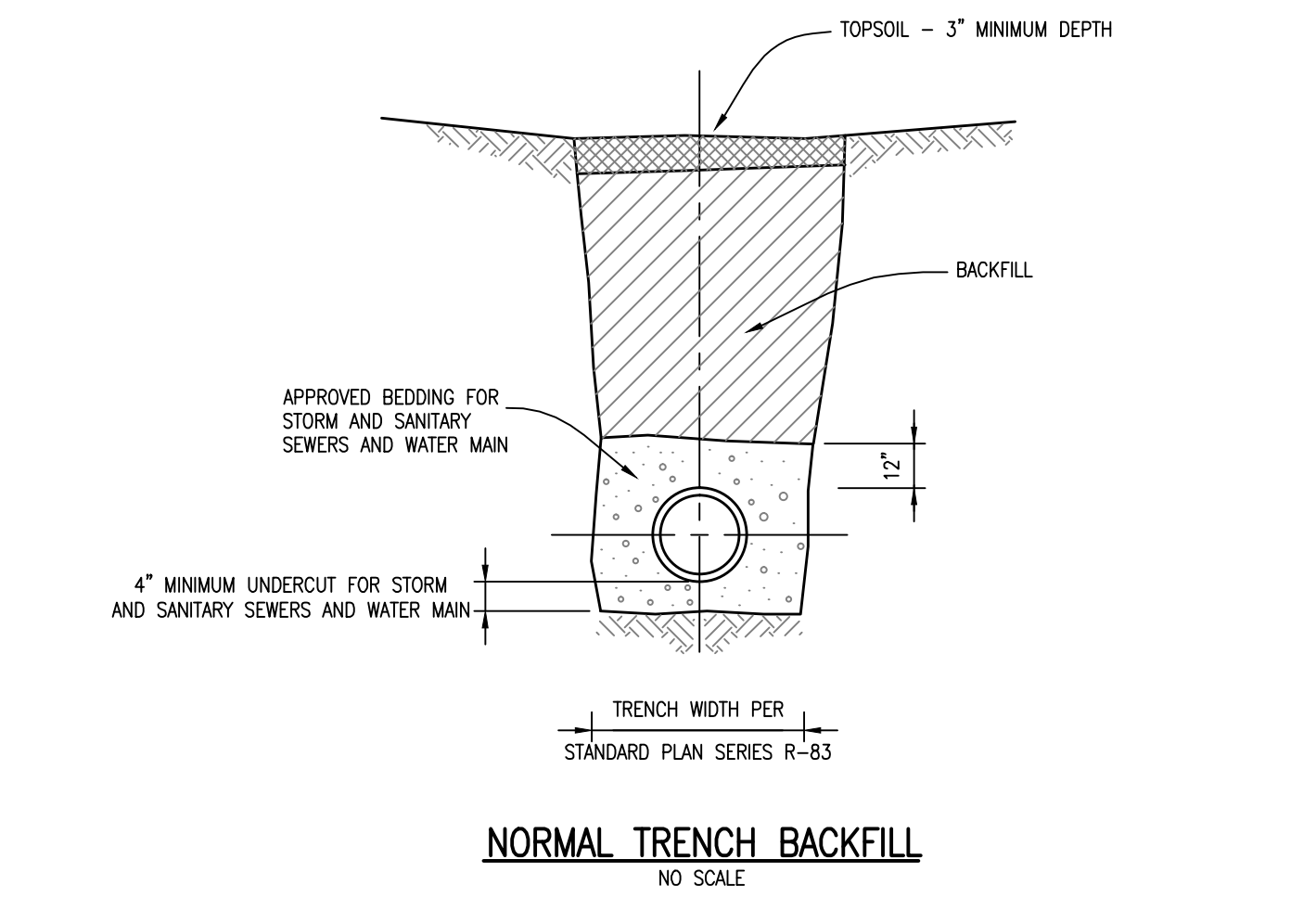


NOTE: W = MIN. WIDTH OF THICKENED CONCRETE SIDEWALK; (R-d) SHALL NOT BE LESS THAN DRIVEWAY WIDTH.



LOCATION OF JOINTS IN CONCRETE SIDEWALK

APPROVED DATE: 2-01-12
DETAIL: 801-2B



NORMAL TRENCH BACKFILL NO SCALE

APPROVED DATE: 2-01-12
DETAIL: 401-1B

DESIGNED BY: ADAMS, MARK 3/10/2015 5:15 PM
CHECKED BY: JONES, RASHAD 3/10/2015 10:00 AM
APPROVED BY: JONES, RASHAD 3/10/2015 10:00 AM
PLOTTED BY: JONES, RASHAD 3/10/2015 10:00 AM
DRAWING TITLE: GENERAL NOTES & STANDARD DETAILS
PROJECT: CITY OF MARSHALL - MARSHALL CITY HALL PARKING LOT
DRAWING NO.: C-501

REVISIONS

NO.	DATE	DESCRIPTION

SCALE: AS SHOWN

PROJ. #: 120108

DATE: 3/10/2015

SHEET

C-501



SOIL EROSION CONTROL NOTES:

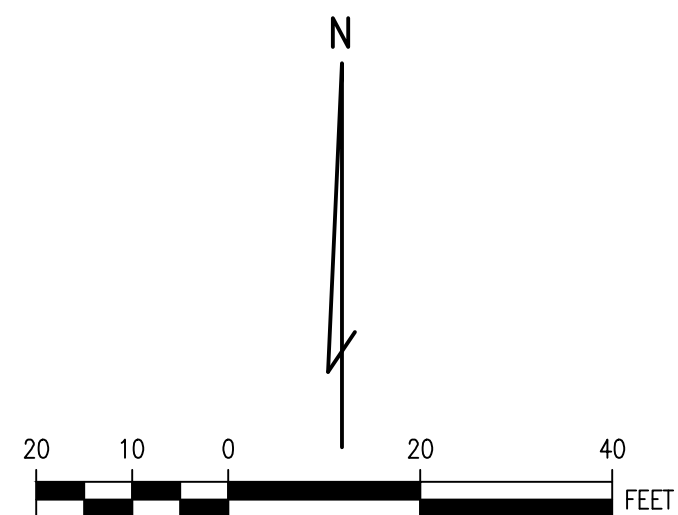
- 1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE OFFICE OF THE CALHOUN COUNTY ROAD DEPARTMENT REQUIREMENTS AND PROJECT SPECIFICATIONS.
2. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES, AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
3. ANY EROSION OR SEDIMENT FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF SITE AREAS OR IN WATERWAYS: WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
4. CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED AND AS DIRECTED ON THESE PLANS. THE CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES AND OTHER EARTH CHANGES HAVE BEEN ESTABLISHED.
5. DUST CONTROL WILL BE EXERCISED AT ALL TIMES WITHIN THE PROJECT BY THE CONTRACTORS. SPRINKLING TANK TRUCKS SHALL BE AVAILABLE AT ALL TIMES TO BE USED ON HAUL ROUTES OR OTHER PLACES WHERE DUST BECOMES A PROBLEM.
6. ALL MUD, DIRT AND DEBRIS TRACKED ONTO EXISTING ROADS SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR NO LESS THAN ON A DAILY BASIS. ALL MUD, DIRT AND DEBRIS TRACKED OR SPILLED ONTO PAVED SURFACES WITHIN THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.

SEQUENCE OF CONSTRUCTION:

- 1. INSTALL ALL TEMPORARY SILT FENCE PER PLAN AND AS SHOWN ON THE DETAIL THIS SHEET.
2. CONSTRUCT THE TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT AT THE PROPOSED CONSTRUCTION ENTRANCE, PER DETAIL THIS SHEET.
3. INSTALL GEOTEXTILE FILTER FABRIC WRAPS BETWEEN THE FRAME AND COVER OF ALL EXISTING YARD BASINS OR INLETS WHICH MAY BE SUSCEPTIBLE TO SEDIMENT EROSION FROM THE PROPOSED CONSTRUCTION AS SHOWN IN THESE PLANS.
4. WHILE MAINTAINING A VEGETATIVE BUFFER WHENEVER POSSIBLE, STRIP AND STOCKPILE TOPSOIL ABOVE AREAS OF PROPOSED EXCAVATION OR GRADING FOR LATER USE ON SITE. PLACE STOCKPILED TOPSOIL IN AREAS WHICH ARE NEITHER SUBJECT TO HIGH RUNOFF NOR ALONG STEEP SLOPES. SEED AND MULCH STOCKPILES IMMEDIATELY TO PREVENT WIND BLOWN SEDIMENT POLLUTION AND EXCESSIVE DUST.
5. EXCAVATE FOR PROPOSED SITE AND UTILITY CONSTRUCTION AS NECESSARY. DO NOT EXPOSE AREAS FAR IN ADVANCE OF THE PROPOSED CONSTRUCTION FOR THAT AREA. ROUGHEN AND SCARIFY EXPOSED SURFACES TO REDUCE RUNOFF VELOCITY AND SEDIMENTATION. MAINTAIN VEGETATION WHENEVER POSSIBLE TO PROVIDE A NATURAL BUFFER.
6. AFTER COMPLETION OF THE PROPOSED UTILITIES, INSTALL TEMPORARY SEDIMENT BARRIERS WITH SILT FENCE AROUND ALL INLETS. PLACE GEOTEXTILE FILTER FABRIC WRAPS BETWEEN FRAMES AND COVERS.
7. INSTALL TEMPORARY STONE FILTER BERMS PERPENDICULAR TO EXPOSED STEEP SLOPES AS NECESSARY ALONG THE PROPOSED STREETS TO REDUCE RUNOFF VELOCITY AND SEDIMENTATION. USE TEMPORARY STRAW BALE CHECK DAMS TO SLOW DOWN AND/OR DIVERT HEAVY RUNOFF WHERE NECESSARY.
8. TOPSOIL, SEED, FERTILIZE & MULCH ALL EXPOSED AREAS WITHIN 5 WORKING DAYS OF ACHIEVING FINAL GRADE TO PROTECT AND RESTORE PERMANENT VEGETATION.
9. WATER EXPOSED GROUND REGULARLY TO CONTROL AIRBORNE PARTICULATE MATTER.
10. THE CONTRACTOR SHALL MAINTAIN ALL TEMPORARY AND PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS AND UNTIL PERMANENT VEGETATION IS RE-ESTABLISHED IN ALL EXPOSED AREAS. REMOVE ACCUMULATED SEDIMENT FROM ALL STRUCTURES.
11. THE SITE WILL BE PERIODICALLY INSPECTED BY THE STAFF OF THE CALHOUN COUNTY ROAD COMMISSION. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE RULES AND REGULATIONS OF THAT OFFICE.
12. UPON FINAL APPROVED INSPECTION OF THE COMPLETED CONSTRUCTION BY ALL REVIEWING AGENCIES, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.

ENGINEER'S NOTES:

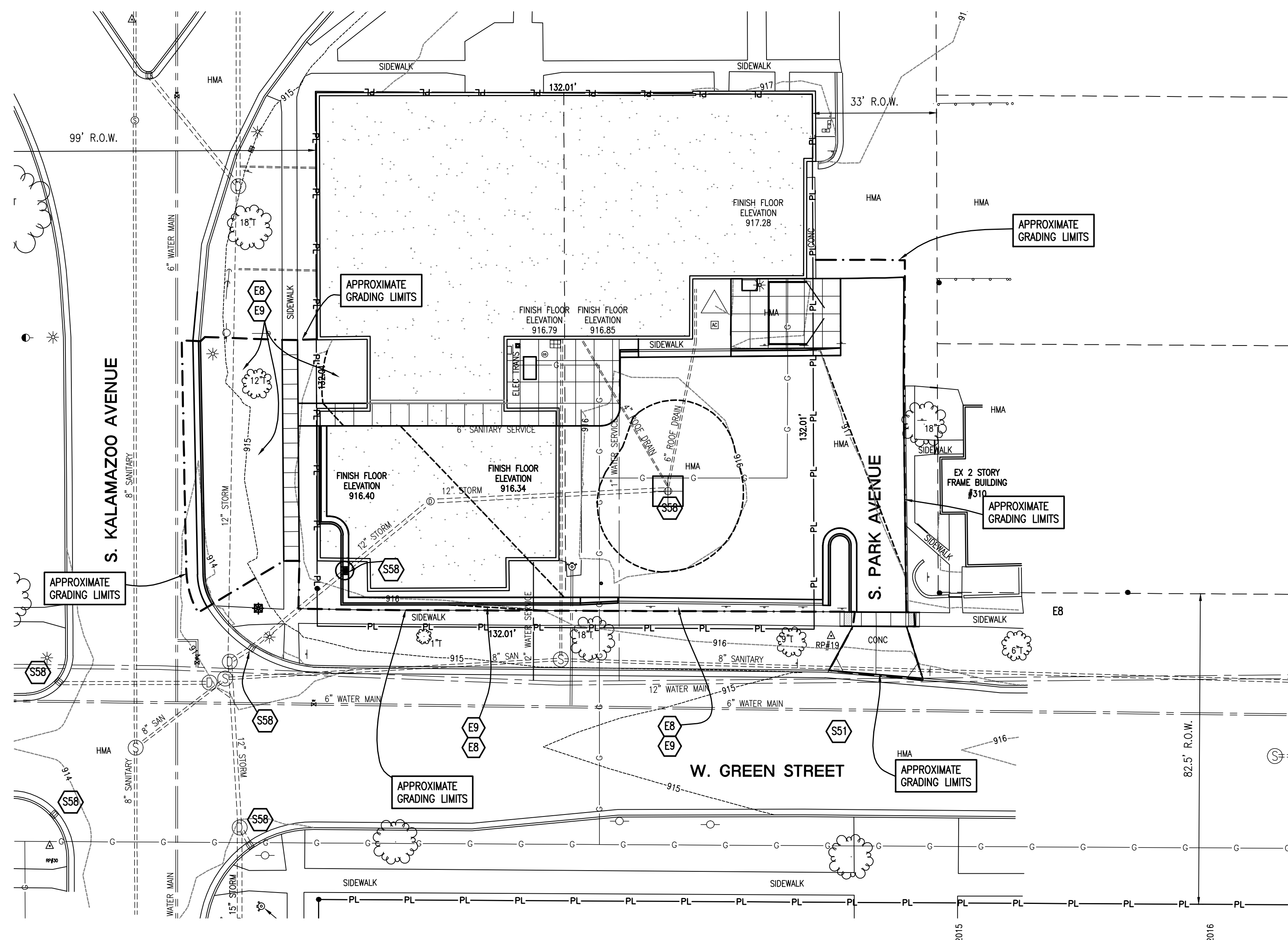
- 1. THE CONTRACTOR SHALL OBTAIN THE SOIL EROSION CONTROL PERMIT AND ANY CONDITIONS OF CONSTRUCTION FROM THE CALHOUN COUNTY ROAD DEPARTMENT COMMISSION (269-781-9841).
2. THE CONTRACTOR SHALL PLACE THE TEMPORARY FILTER FENCE AND CATCH BASIN SILT TRAPS PRIOR TO COMMENCING GRADING OPERATIONS.
3. AFTER EACH RAINFALL EVENT, CONTRACTOR SHALL INSPECT AND MAINTAIN ALL SOIL EROSION CONTROL MEASURES AND CLEAN AND REPLACE CATCH BASIN FILTERS.



THE ESTIMATED AREA WITHIN THE GRADING LIMITS IS 0.30 ACRES.

PER THE CALHOUN COUNTY SOIL SURVEY, ON-SITE SOILS CONSIST OF URBAN LAND-KALAMAZOO COMPLEX.

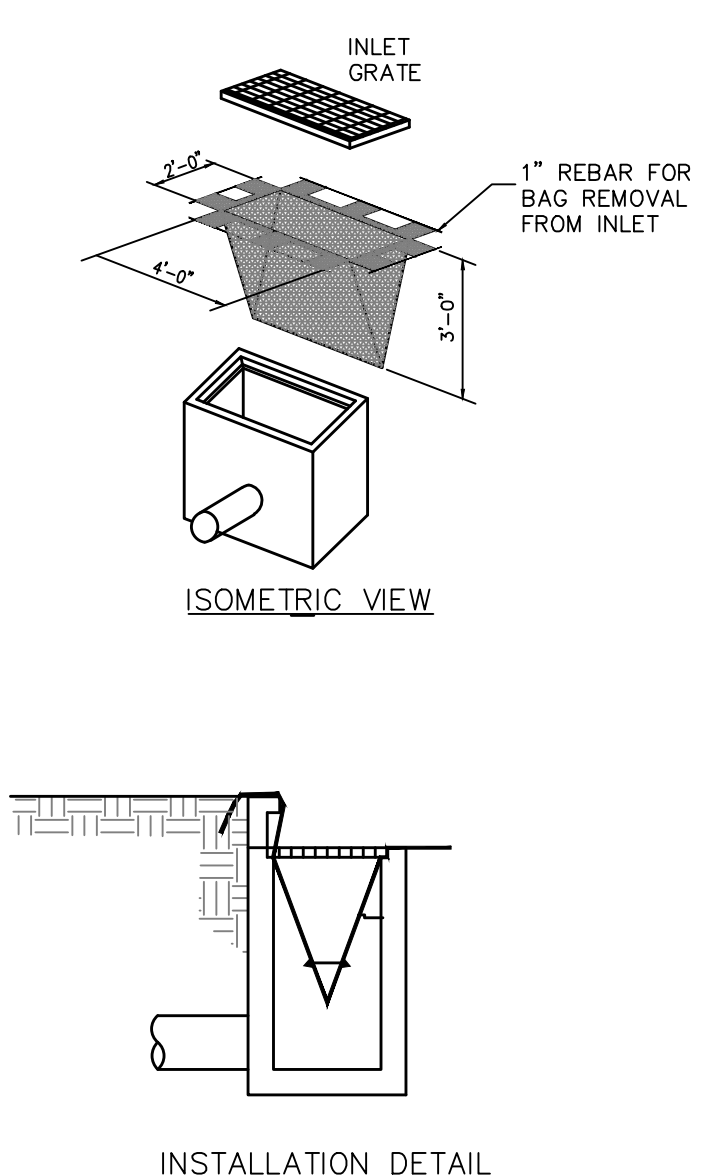
PROPOSED STORM SEWERS (solid line)
EXISTING STORM SEWERS (dashed line)



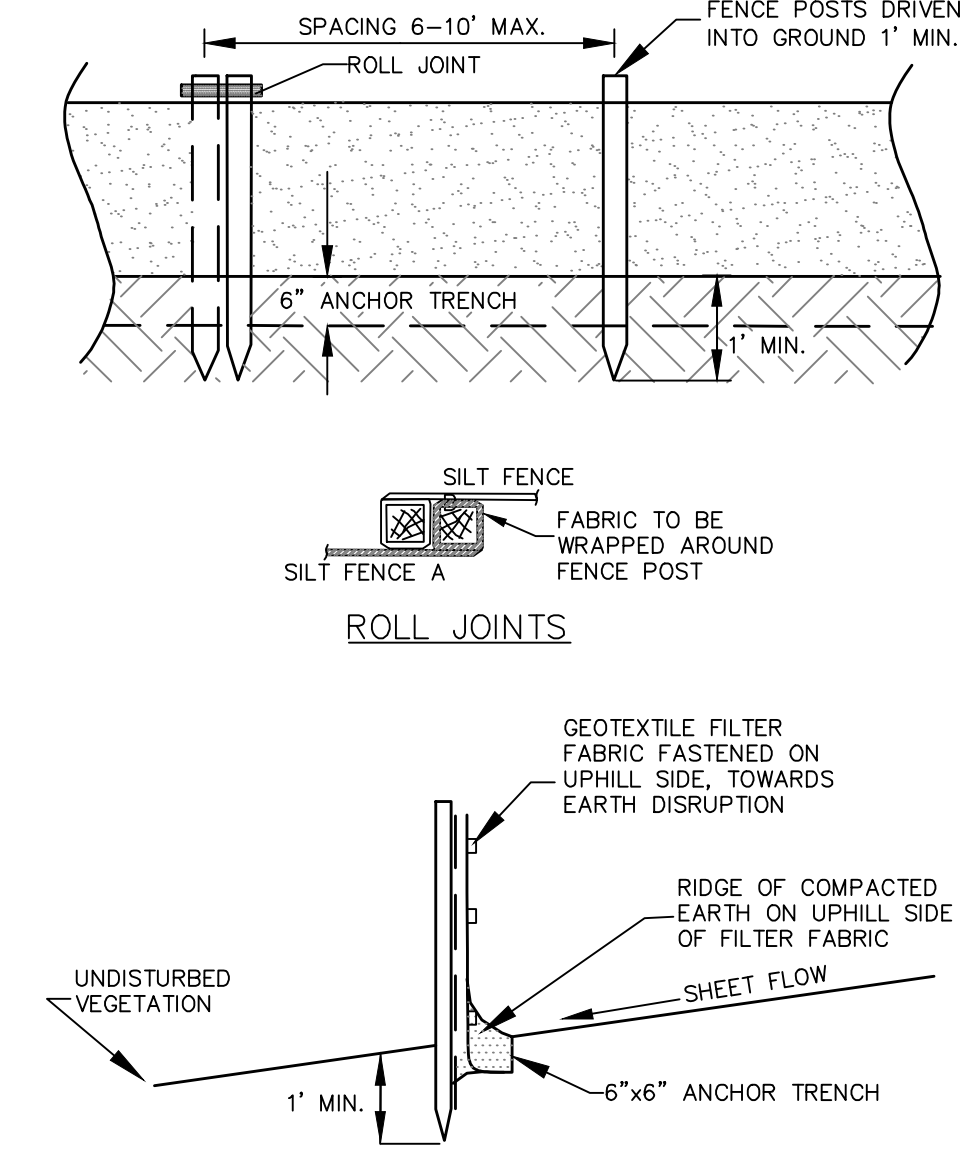
SESC SCHEDULE table with columns for months (MAY-DEC) and rows for construction phases: PLACE & MAINTAIN EROSION CONTROLS, SITE GRADING, UTILITY CONSTRUCTION, BUILDING CONSTRUCTION, PARKING LOT AND DRIVE CONSTRUCTION, RESTORATION - TOPSOIL SPREADING AND PERMANENT SEEDING, FINAL INSPECTION AND REMOVE TEMPORARY EROSION CONTROLS.

SOIL EROSION CONTROL MEASURES KEY table with columns for KEY, DETAIL, and NOTES. Includes entries for E6 (MULCH), E7 (TEMPORARY SEEDING), E8 (PERMANENT SEEDING), E9 (MULCH BLANKET), S51 (SILT FENCE), S53 (STABILIZED CONSTRUCTION ACCESS), and S58 (INLET PROTECTION - FABRIC DROP).

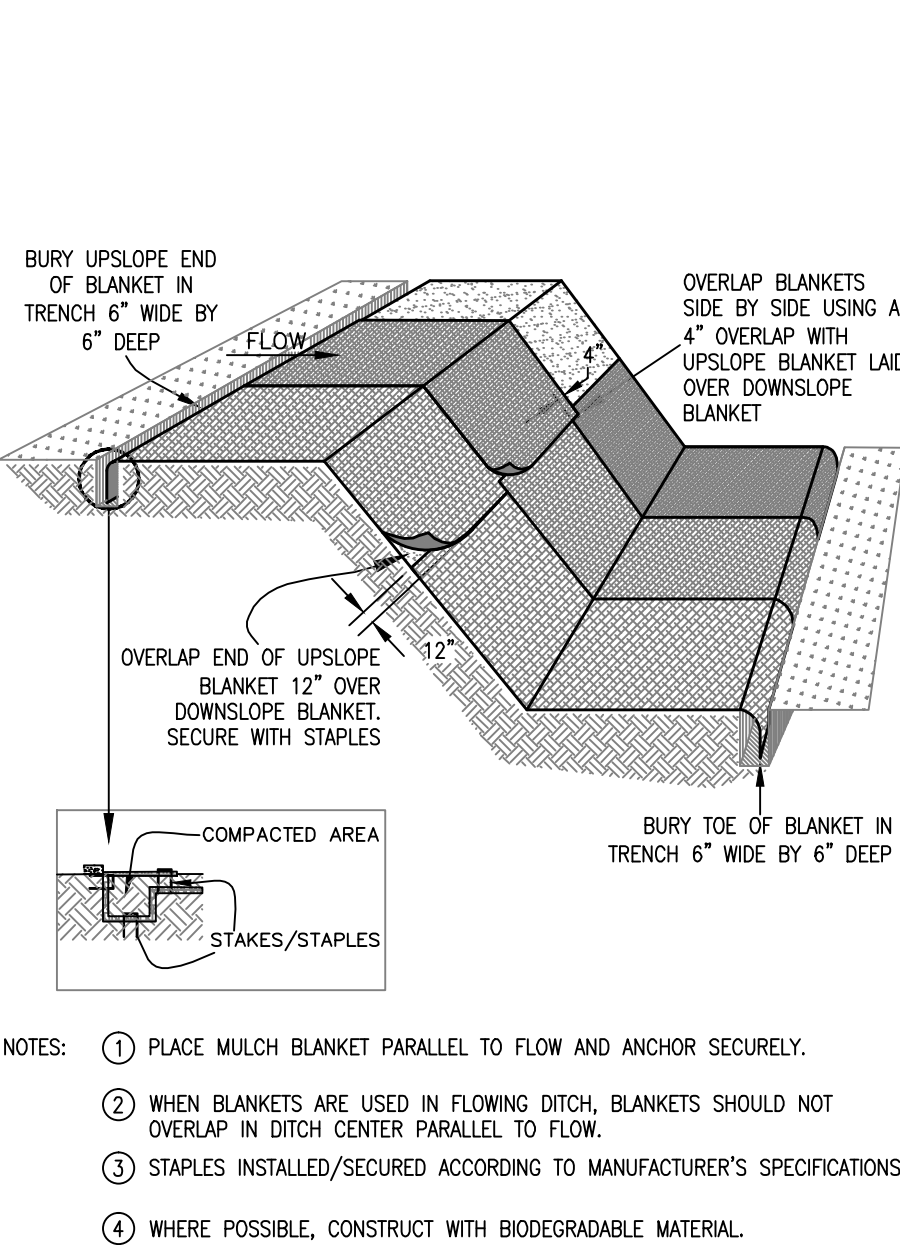
S58 INLET PROTECTION - FABRIC DROP



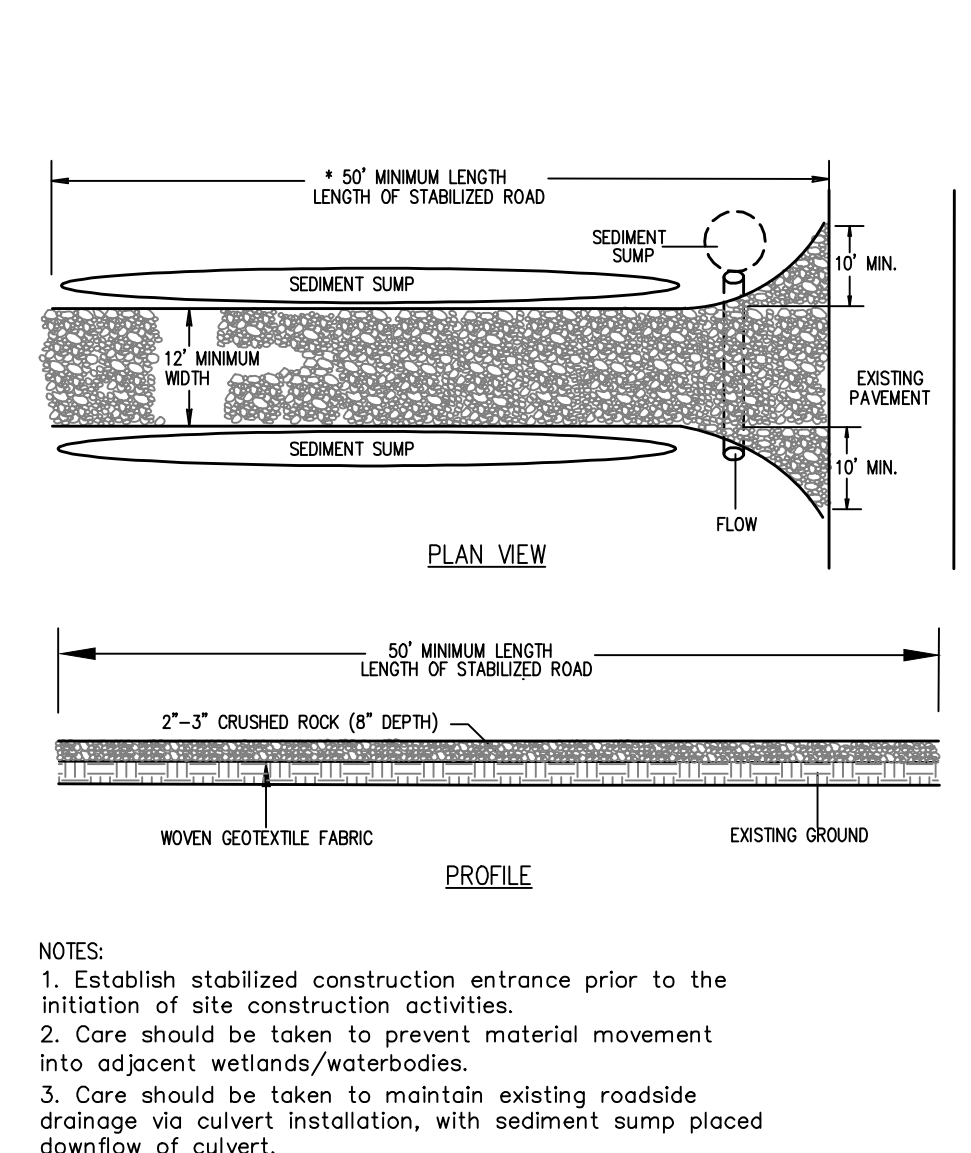
S51 SILT FENCE



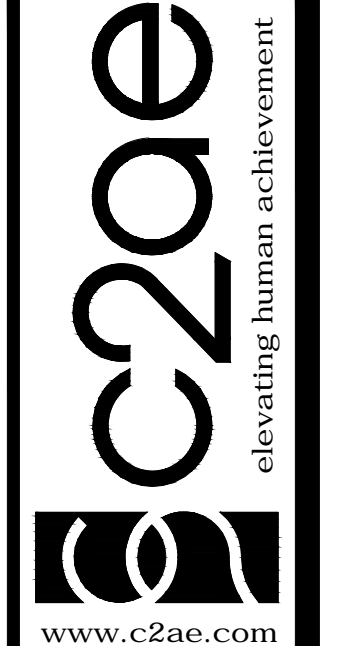
E9 MULCH BLANKETS



S53 STABILIZED CONSTRUCTION ACCESS



DESIGNED BY: ADAMS, MARK 3/10/2015 3:53 PM
APPROVED BY: JONES, MICHAEL
CHECKED BY: ...

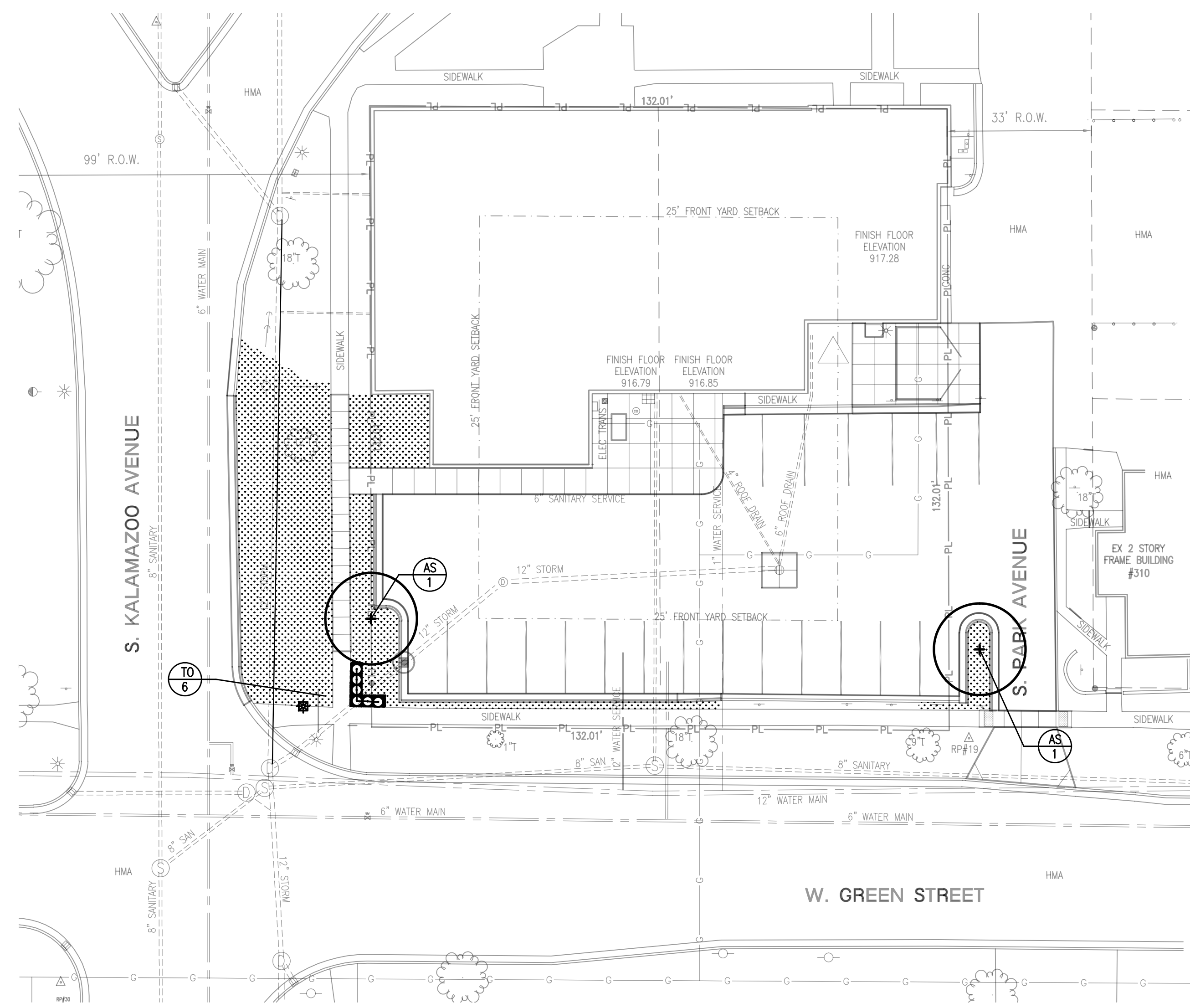


CITY OF MARSHALL
MARSHALL CITY HALL PARKING LOT
523 WEST MICHIGAN AVENUE

SESC DETAILS
REVISIONS
SCALE: AS SHOWN
PROJ. #: 120108
DATE: 3/10/2015
SHEET
C-503
SITE PLAN REVIEW



DESIGNED BY: ADAMS MARK 3/10/2015 5:14 PM
 CHECKED BY: JONAS HADJIKY...
 PLOTTED BY: ADAMS MARK 3/10/2015 5:14 PM
 PLOTTER: HP DesignJet 5000 Series
 LANDSCAPE PLAN



SITE BENCHMARK ELEVATION 916.86
TOP OF BIG ARM OF HYDRANT AT THE
SOUTHEAST CORNER OF S KALAMAZOO
AVENUE AND W GREEN STREET.

REFERENCE POINTS	ELEVATION	ELEVATION
17	N281866.07	E12961856.82
18	N281766.44	E12961647.20
19	N281602.75	E12961832.96

THE SITE SURVEY IS ON THE MICHIGAN STATE PLANE SYSTEM (NAD 83)



- LEGEND**
- 6" ALUMINUM LANDSCAPE EDGING WITH 18" STAKES.
 - 4" DEEP DOUBLE PROCESSED HARDWOOD MULCH
 - TURF AREA. SEE LANDSCAPE NOTE 4, THIS SHEET.
 - ⊕ DECIDUOUS TREE OR SHRUB
 - ⊙ EVERGREEN TREE OR SHRUB

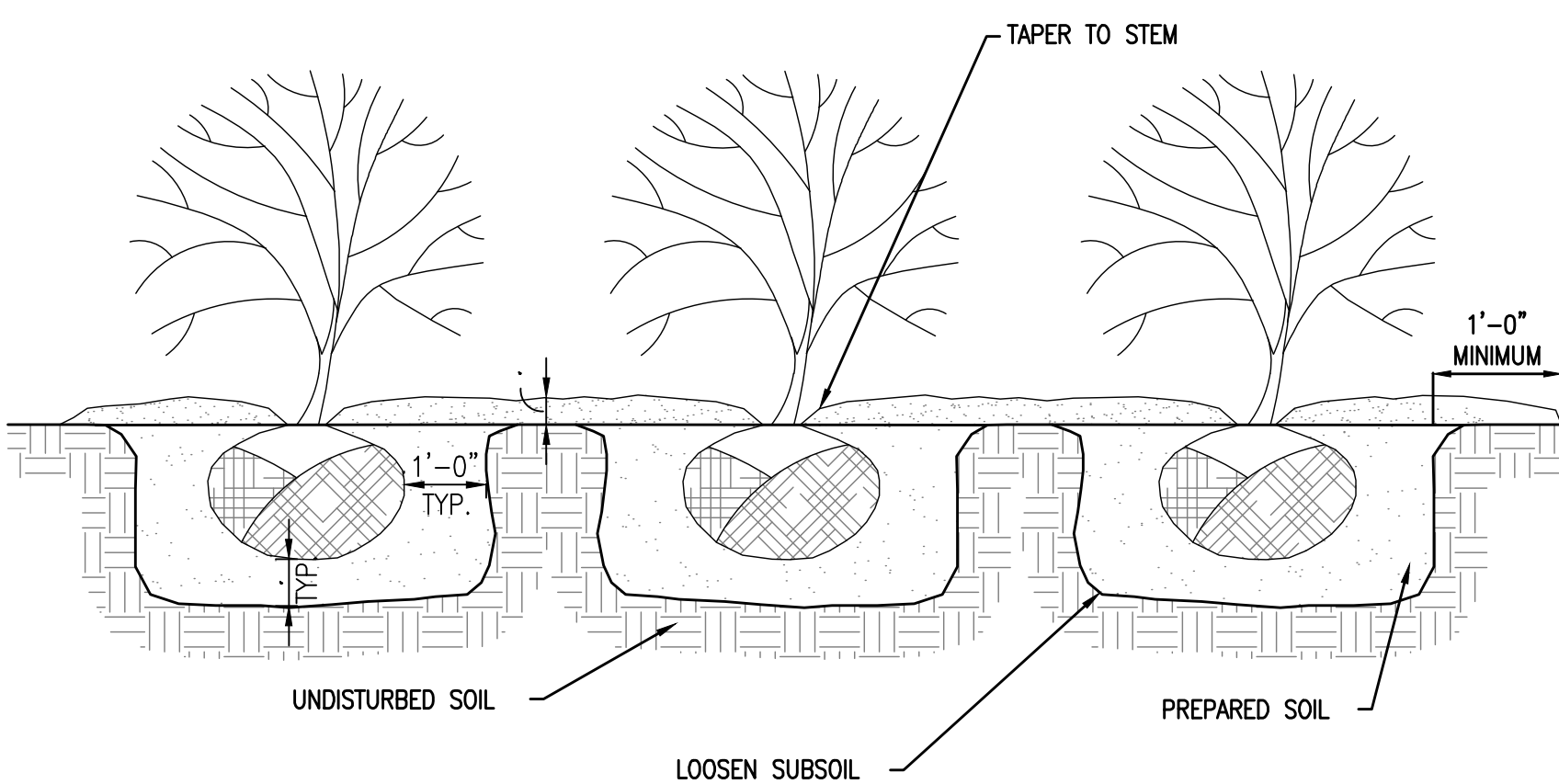
GENERAL NOTES:

- UTILITIES SHOWN ARE APPROXIMATE, CONTRACTOR SHALL FIELD VERIFY EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
- ALL AREAS DISTURBED OUTSIDE OF THE CONSTRUCTION LIMITS SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTS PRIOR TO CONSTRUCTION.
- EXISTING PLANT MATERIAL IDENTIFIED TO REMAIN, SHALL BE PROTECTED THROUGHOUT CONSTRUCTION. ERECT AND MAINTAIN TEMPORARY FENCING AROUND TREE PROTECTION ZONE. (EQUAL TO DRIP LINE OF TREE) BEFORE STARTING SITE DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ALL DAMAGED ITEMS AT NO COST TO THE OWNER. DO NOT STORE CONSTRUCTION MATERIALS, DEBRIS OR EXCAVATED MATERIALS WITHIN FENCED AREA. DO NOT PERMIT VEHICLES, EQUIPMENT OR FOOT TRAFFIC WITHIN FENCED AREA. MAINTAIN FENCED AREA FREE OF WEEDS AND DEBRIS.
- THE CONTRACTOR SHALL PROTECT ALL PAVEMENT AREAS DESIGNATED TO REMAIN FROM DAMAGE DURING CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ALL DAMAGED AREAS AT NO COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL CONSTRUCTION DEBRIS.
- MAINTAINING TRAFFIC, AS REQUIRED FOR CONSTRUCTION OPERATIONS, SHALL BE INCLUDED IN OTHER WORK ITEMS.

LANDSCAPE NOTES:

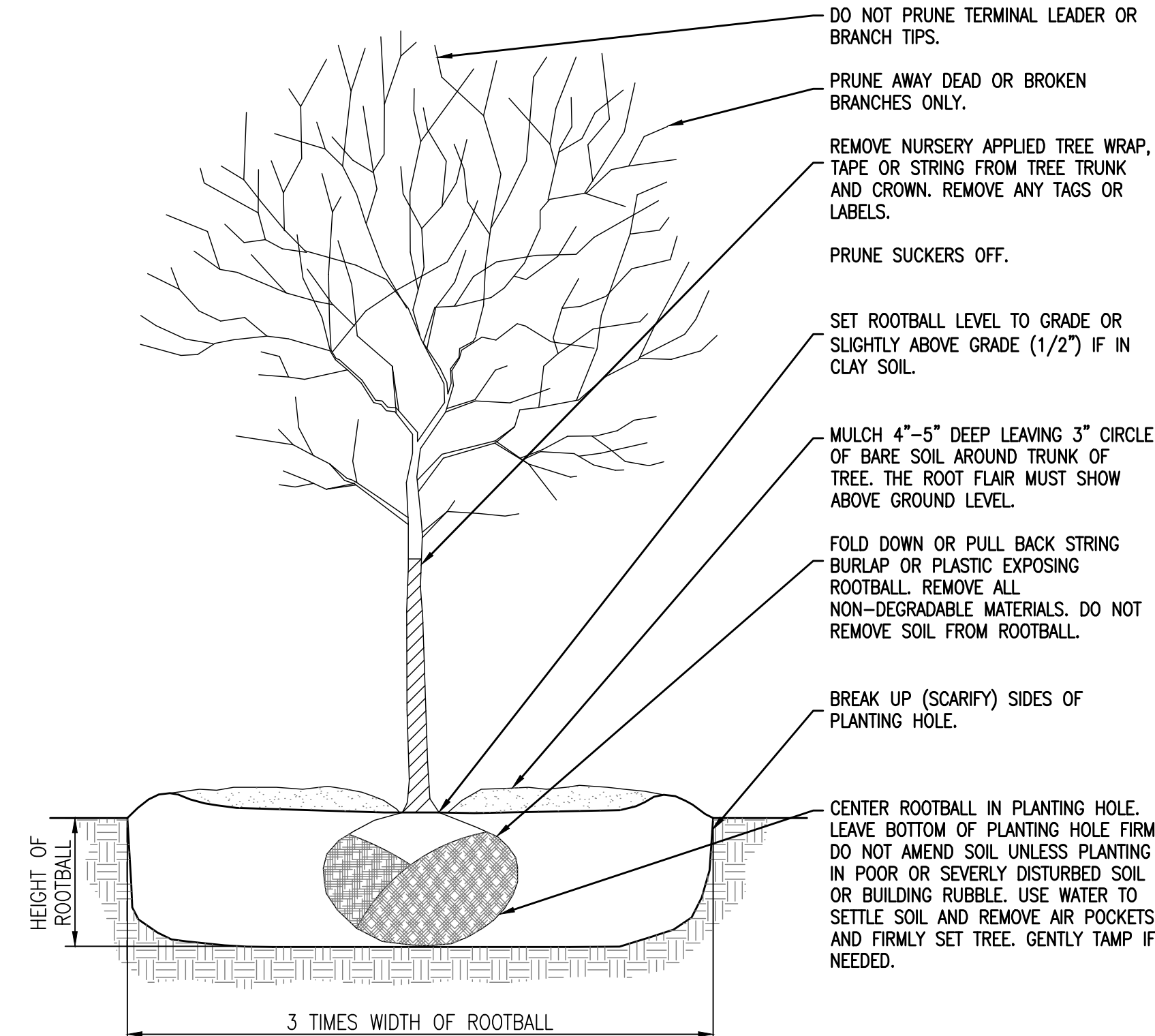
- THE CONTRACTOR SHALL FIELD STAKE LOCATIONS OF ALL PROPOSED LANDSCAPE MATERIAL FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO ADJUST LOCATIONS OF PLANT MATERIAL PRIOR TO INSTALLATION.
- REFER TO PLANT SCHEDULE, THIS SHEET FOR PLANT IDENTIFICATION AND PLANTING REQUIREMENTS. REFER TO SPECIFICATIONS FOR INSTALLATION, MAINTENANCE AND GUARANTEE REQUIREMENTS.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF PLANTS WITH OTHER TRADES, INCLUDING CONCRETE, AND ANY OTHERS.
- ALL AREAS DISTURBED BY CONSTRUCTION NOT BUILT, PAVED OR OTHERWISE COVERED SHALL BE HYDROMULCH SEEDING AT THE FOLLOWING RATE AND MIXTURE:
 RATE=8 LBS/1000 SFT
 25% PARK KENTUCKY BLUEGRASS
 15% PENNLAWN CREEPING RED FESCUE
 15% PENNFINE PERENNIAL RYE GRASS
 20% RUGBY KENTUCKY BLUEGRASS
 25% BANFF OR BRONCO KENTUCKY BLUEGRASS
 WEED SEED SHALL NOT EXCEED 0.35% BY WEIGHT IN THE TOTAL AMOUNT SUPPLIED.

QUANTITY	KEY	SCIENTIFIC NAME	COMMON NAME	SIZE	NOTES
TREES					
2	AS	<i>Acer saccharum</i> 'Green Mountain'	GREEN MOUNTAIN SUGAR MAPLE	3" caliper	B&B
DECIDUOUS SHRUBS					
3	RK	<i>Rosa</i> 'Knockout'	KNOCKOUT ROSE	5 GAL. CONT.	3' O.C.
3	SG	<i>Spirea</i> x b. 'Goldflame'	GOLDFLAME SPIREA	5 GAL. CONT.	3' O.C.
EVERGREEN SHRUBS					
6	TO	<i>Thuja occidentalis</i> 'Mr. Bowling Ball'	MR. BOWLING BALL GLOBE ARBORVITAE	5 GAL. CONT.	3' O.C.

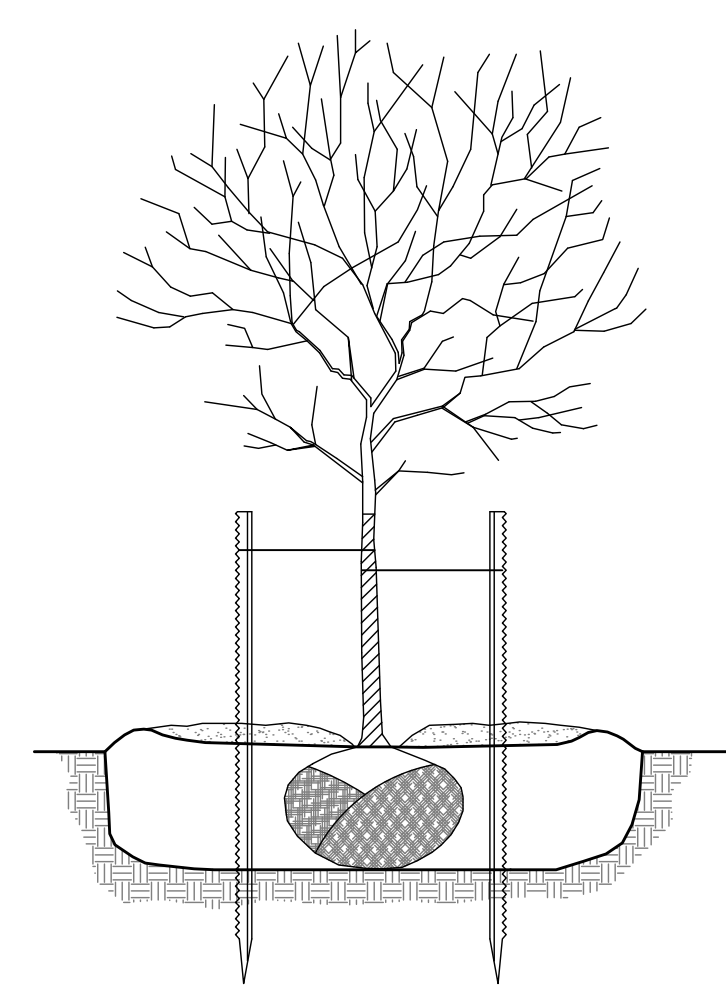


NOTES:
 CUT 6"x6" MINIMUM EDGING AROUND THE PERIMETER OF ALL SHRUB BEDS SHOWN ON THE PLANS. SPRAY A NON-PERSISTENT GLYPHOSATE HERBICIDE TO ENTIRE SHRUB BED PRIOR TO PLANTING AND MULCH PLACEMENT.
 ALL PLANTS SHALL BE SET PLUMB AND HAVE THE BEST SIDE OF THE PLANT FACING TOWARD THE MAIN DIRECTION OF VIEW.

1 SHRUB BED DETAIL
 L-100 SCALE: NO SCALE



- DO NOT STAKE UNLESS IN HEAVY CLAY SOIL, WINDY CONDITIONS, 3" OR GREATER DIAMETER TREE TRUNK, OR LARGE CROWN. IF STAKING IS NEEDED:
- STAKE WITH 2 BY 2 HARDWOOD STAKES OR APPROVED METAL POSTS DRIVEN INTO THE SOIL ONE FOOT OUTSIDE THE ROOTBALL.
 - LOOSELY STAKE TREE TRUNK TO ALLOW FOR TRUNK FLEXING.
 - STAKE TREES JUST BELOW 1ST BRANCH WITH APPROPRIATELY SIZED EYE BOLT CONNECTED TO THE POSTS WITH ELEVEN GAUGE WIRE. TWO PER TREE ON OPPOSITE SIDES OF THE TREE. DO NOT USE A ROPE OR WIRE THROUGH A HOSE.
 - REMOVE ALL STAKING MATERIAL AFTER ONE YEAR.

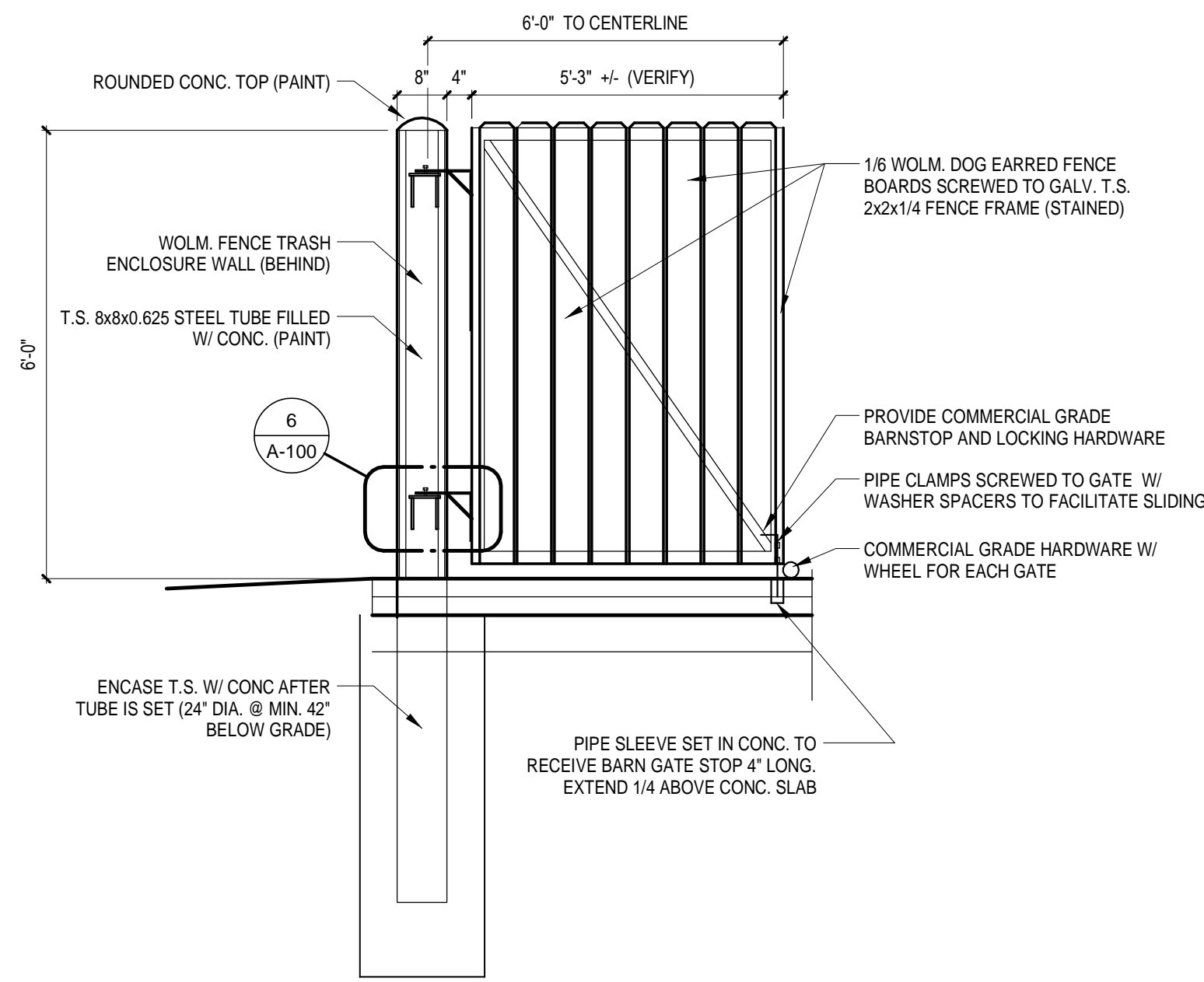


2 DECIDUOUS TREE INSTALLATION
 L-100 SCALE: NO SCALE

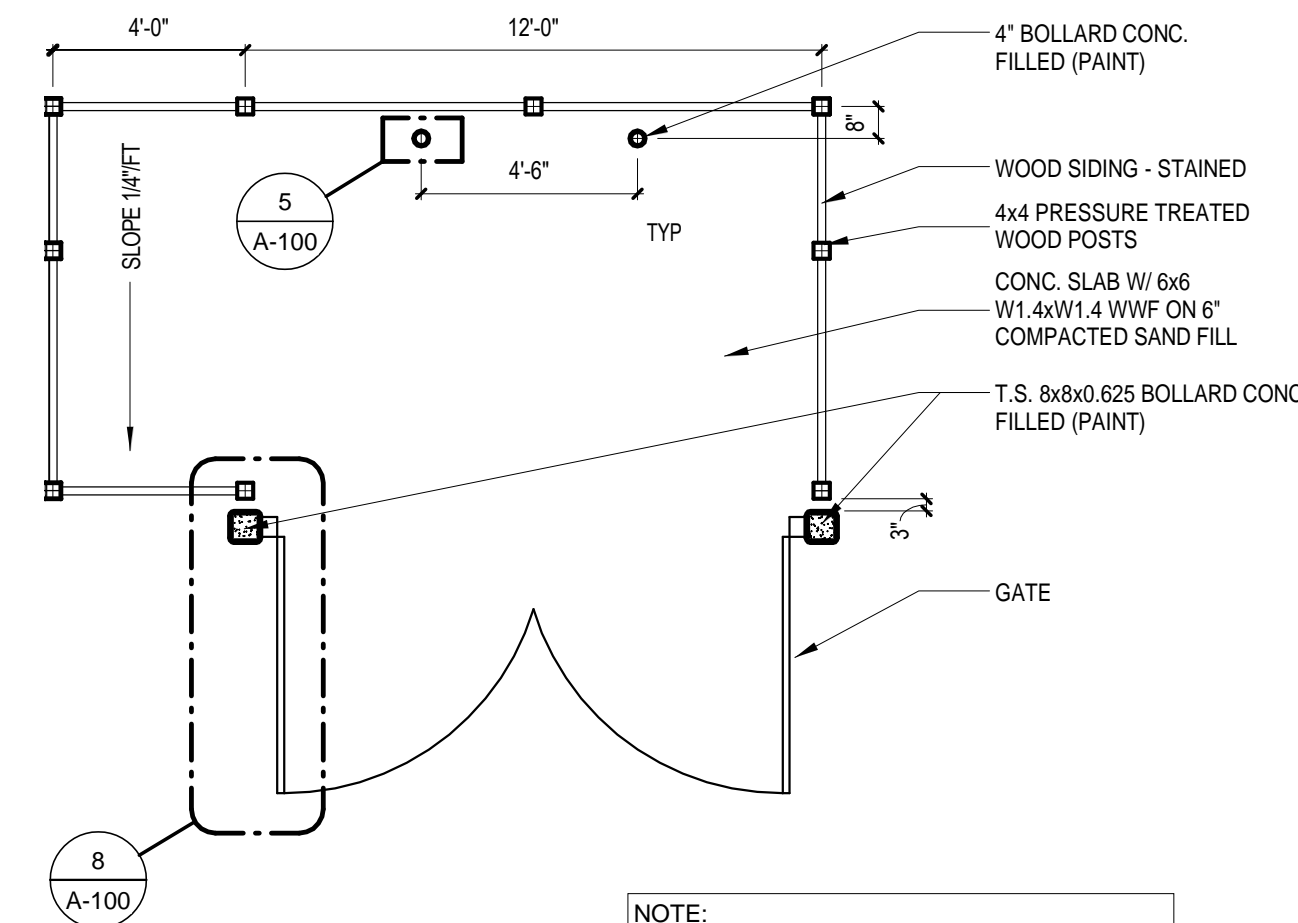
REVISIONS

NO.	DATE	DESCRIPTION

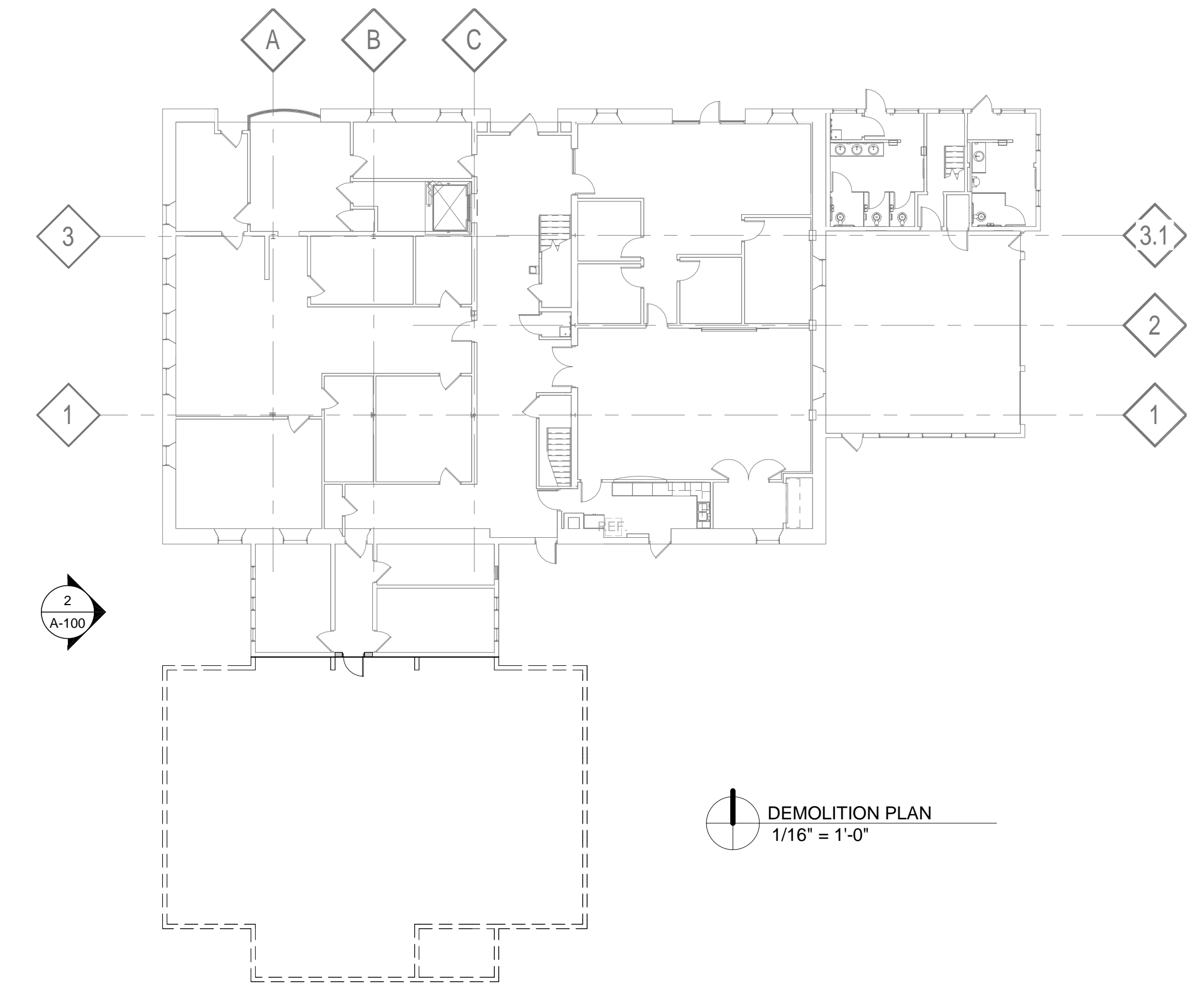
SCALE: AS SHOWN
 PROJ #: 120108
 DATE: 3/10/2015
 SHEET



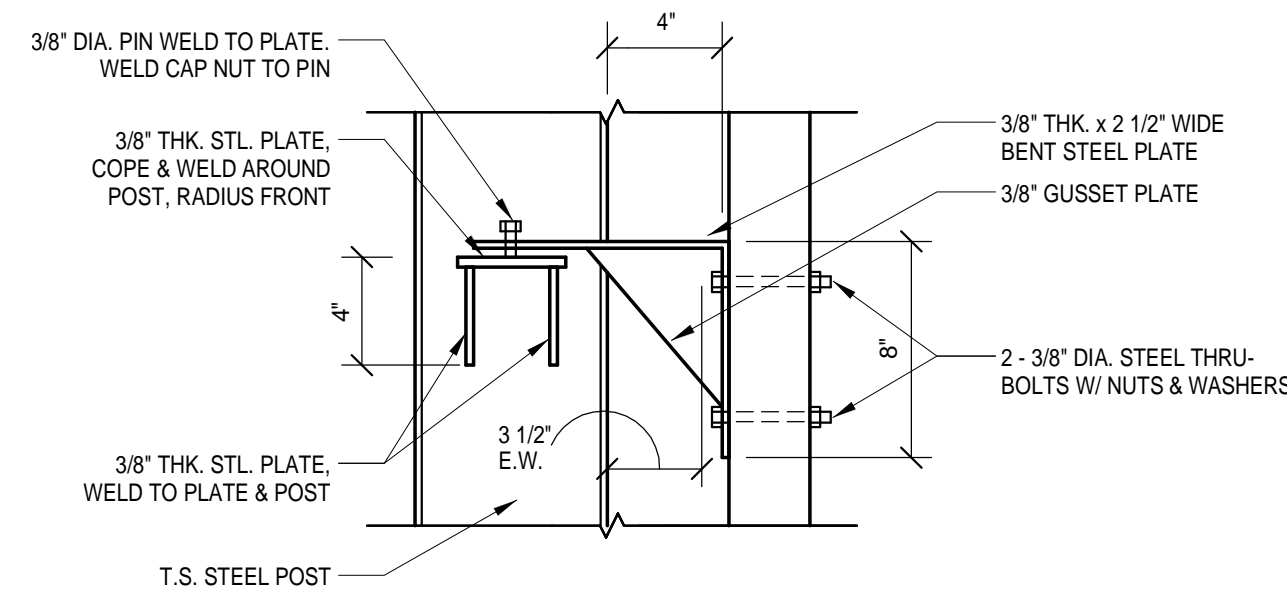
8 TRASH ENCLOSURE GATE
1/2" = 1'-0"



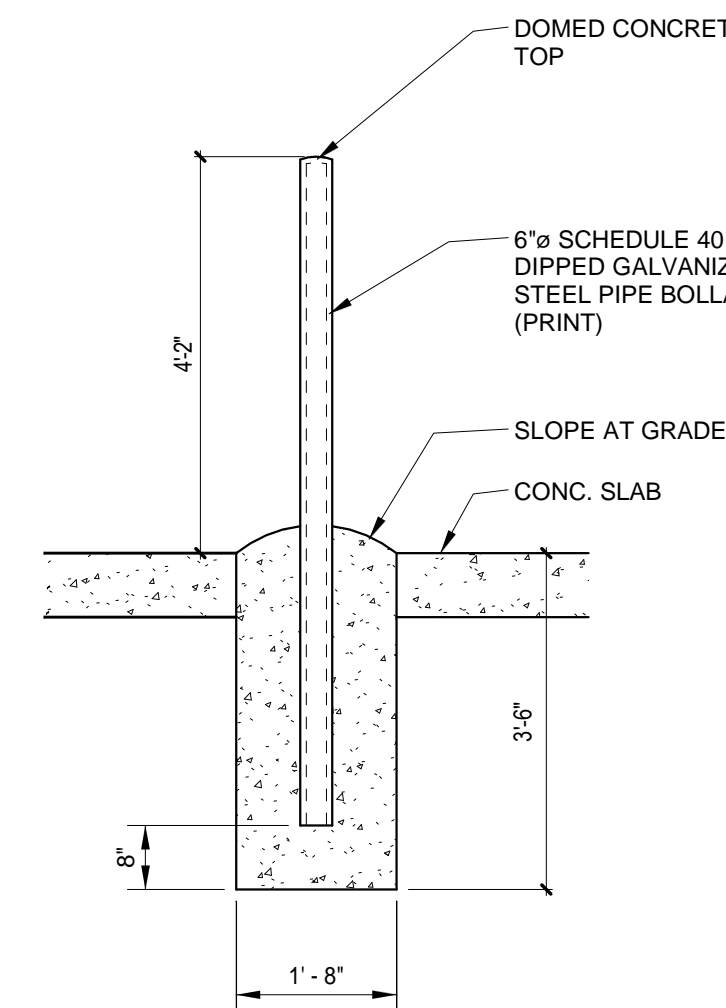
7 DUMPSTER ENCLOSURE
1/4" = 1'-0"



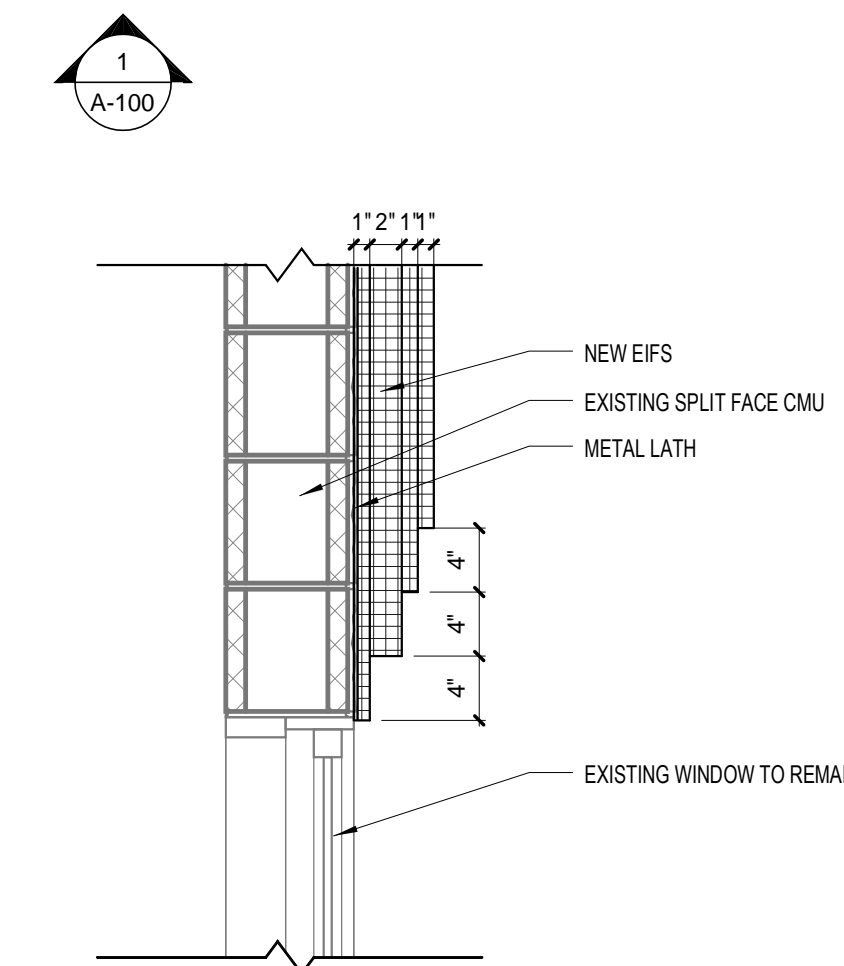
DEMOLITION PLAN
1/16" = 1'-0"



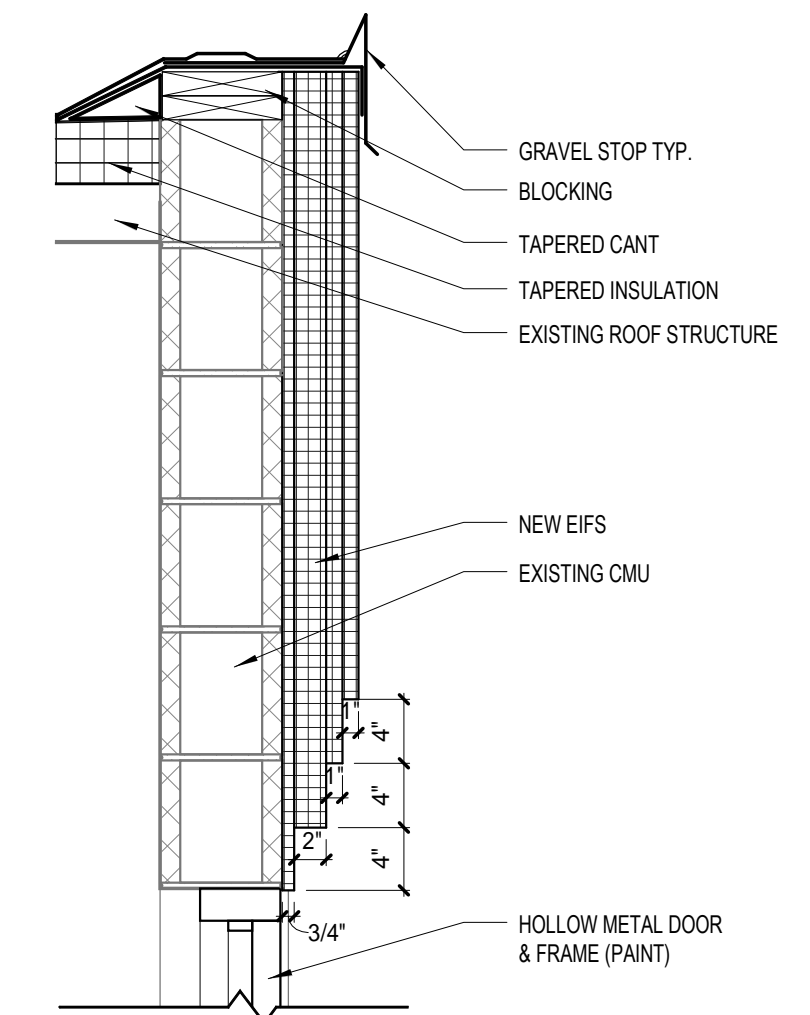
6 HINGE DETAIL
1/2" = 1'-0"



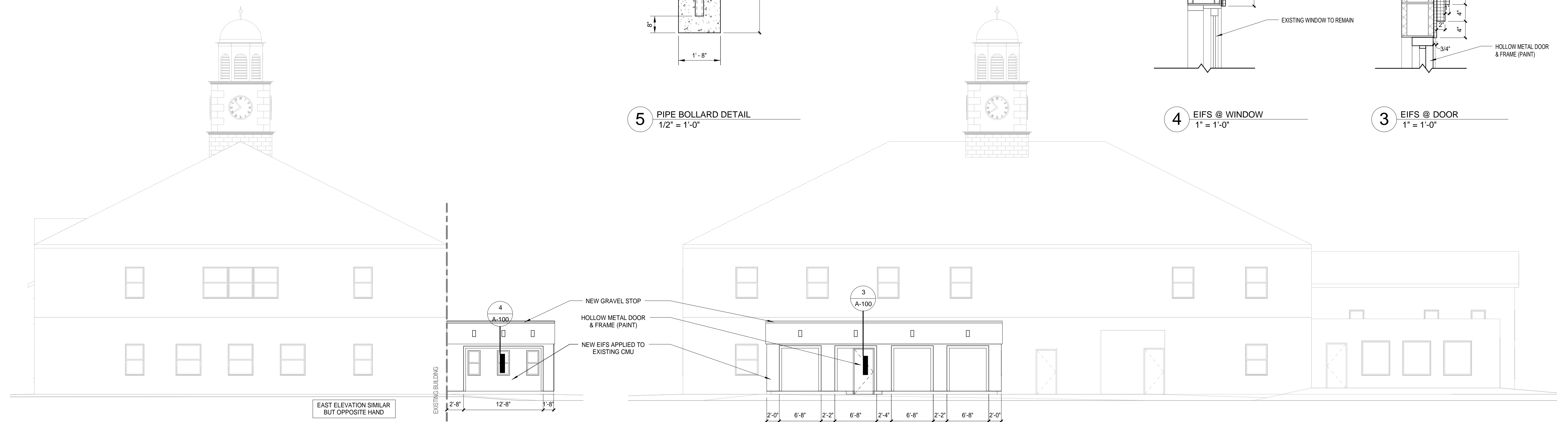
5 PIPE BOLLARD DETAIL
1/2" = 1'-0"



4 EIFS @ WINDOW
1" = 1'-0"



3 EIFS @ DOOR
1" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"

1 SOUTH ELEVATION
1/8" = 1'-0"

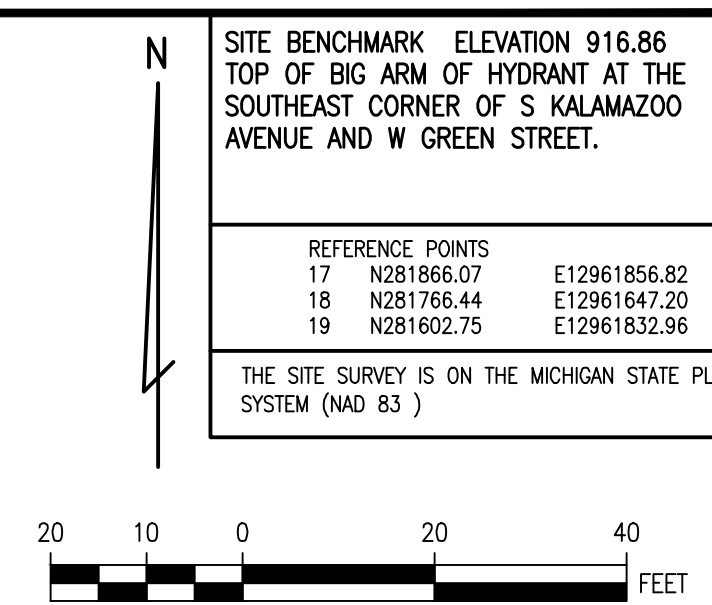
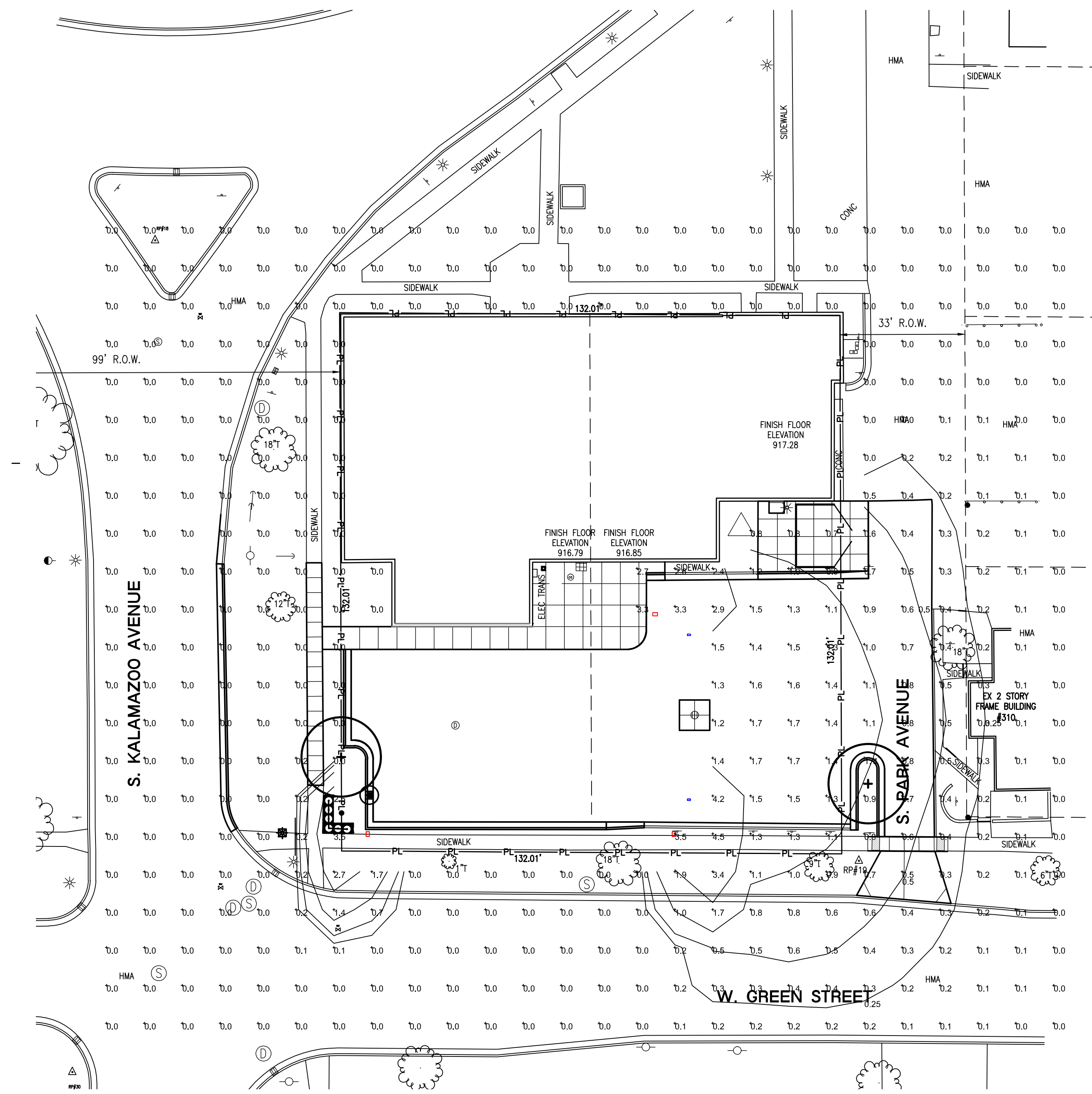
REVISIONS		
REV	DESCRIPTION	DATE

SCALE: As Indicated
PROJ # 120108
DATE: 03/10/2015
SHEET



WE RECYCLE

DESIGNED BY: ADAMS MARK 3/10/2015 5:54 PM
CHECKED BY: [REDACTED]
APPROVED BY: [REDACTED]
DESIGNED BY: [REDACTED]



SITE BENCHMARK ELEVATION 916.86 TOP OF BIG ARM OF HYDRANT AT THE SOUTHEAST CORNER OF S KALAMAZOO AVENUE AND W GREEN STREET.			
REFERENCE POINTS			
17	N281866.07	E12961856.82	
18	N281766.44	E12961647.20	
19	N281602.75	E12961832.96	
THE SITE SURVEY IS ON THE MICHIGAN STATE PLANE SYSTEM (NAD 83)			

STATISTICS			
Description	Symbol	Max	Min
entire site	+	4.5 fc	0.0 fc

LUMINAIRE LOCATIONS					
No.	Label	X	Location Y	Z	Orientation
1	A	88.6	58.9	26.0	90.0
2	A	88.6	15.4	26.0	90.0
3	B	79.7	64.3	9.0	0.0
4	B	84.7	6.4	9.0	90.0
5	B	3.9	6.4	9.0	-90.0



LUMINAIRE SCHEDULE						
Symbol	Qty	Catalog Number	Description	Lamp	LLF	Watts
□	2	Lithonia DSX1 LED 130B700/50K FT MVOLT	DSX1 LED WITH 1 LIGHT ENGINE, 700mA DRIVER, 5000K LEDS, TYPE FT OPTICS	ONE 73.5-WATT LED, AIMED DOWN POS.	0.95	73.5
□	3	Lithonia OLV 23	Outdoor LED Wall pack with Type 3 optics	Nichia 219A 5000K	0.95	35.2



CITY OF MARSHALL
MARSHALL CITY HALL PARKING LOT
823 WEST MICHIGAN AVENUE

PROPOSED SITE PHOTOMETRIC PLAN

REVISIONS

SCALE: AS SHOWN
PROJ. #: 120108
DATE: 3/10/2015
SHEET

E-100

SITE PLAN REVIEW