

**MARSHALL CITY PLANNING COMMISSION**  
**Wednesday, February 10, 2021 at 7:00 p.m.**  
**Electronic Meeting Format**

**ZOOM LINK:**

<https://us02web.zoom.us/j/84334582657?pwd=QTZyTEZYdEw4SUhCdHNjbE5FY0tldz09>

You may participate in the virtual meeting by using the link listed above or join by phone at **1-312-626-6799 Meeting ID: 843 3458 2657 Passcode: 193265**

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**Call to Order**

**Roll Call**

**Approval of Agenda**

Regular Meeting of the Planning Commission, February 10, 2021

**Approval of Minutes**

Minutes from January 13, 2021

**Public Comments on Agenda Items**

**Public Hearings**

1. Public Hearing on Zoning Amendment Request #RZ21.01 from the Calhoun County Land Bank Authority to rezone 410 East Drive from POSD (Professional Office Service District) to R-2 (Suburban Residential District)
2. Public Hearing on Special Land Use Request #SLU21.01 for 1717 Pratt Avenue from MPM-C Marshall, LLC for the construction of Hoop Houses

**New Business**

1. Recommendation on Zoning Amendment Request #RZ21.01 from the Calhoun County Land Bank Authority to rezone 410 East Drive from POSD (Professional Office Service District) to R-2 (Suburban Residential District)
2. Recommendation on Special Land Use Request #SLU21.01 for 1717 Pratt Avenue from MPM-C, LLC for the construction of Hoop Houses
3. Consider approval of Site Plan application #SP21.01 for 1717 Pratt Avenue from MPM-C Marshall, LLC
4. Received and consider Site Plan amendment #SPA05.01 for 18720 Partello Road, Love's Travel Stop

**Old Business**

**Public Comment on Non-Agenda Items**

**Reports**

**Adjournment**

**MINUTES  
MARSHALL CITY PLANNING COMMISSION  
WEDNESDAY, JANUARY 13, 2021**

In a regular session, Wednesday, January 13, 2021 at 7:00 p.m. via Zoom the Marshall Planning Commission was called to order by Chair Banfield.

**ROLL CALL**

Members Present: Chair Banfield, Commissioners Burke Smith, Davis, Hall, McNiff, Reed, Schwartz, and C. Zuzga and Council Liaison Wolfersberger

Members Absent: Commissioner Zuck

Staff Present: Trisha Nelson, City Clerk & Planner  
Eric Zuzga, Director of Special Projects

**AGENDA**

**MOTION** by McNiff, supported by Reed, to accept the agenda for the Wednesday, January 13, 2021 as submitted. On a roll call vote; ayes- Burke Smith, Banfield, Davis, Hall, McNiff, Reed, C Zuzga; nays- none; **MOTION CARRIED.**

**MINUTES**

**MOTION** by Davis, supported by McNiff, to accept the minutes from the December 9, 2020 regular meeting. On a roll call vote; ayes- Burke Smith, Banfield, Davis, Hall, McNiff, Reed, C Zuzga; nays- none; **MOTION CARRIED.**

**PUBLIC COMMENTS ON AGENDA ITEMS**

None

**PUBLIC HEARINGS**

Chair Banfield opened the Public Hearing on Planning Commission Draft Capital Improvements Plan 2021-2027. Hearing none, Chair Banfield closed the public hearing on Planning Commission Draft Capital Improvement Plan 2021-2027.

**NEW BUSINESS**

**MOTION** by Burke-Smith, supported by McNiff to recommend the Planning Commission Draft Capital Improvements Plan 2021-2027 to City Council.

Banfield stated that there was a comment after the last meeting about wanting to see the entire plan, which has now been presented. He further stated that the Planning Commission only looks at projects with a priority ranking of 2 or above. Nelson stated that Directors meet with staff to come up with projects that are needed within departments that are then ranked 1-4 with 1 being the highest ranking. Once budget allows, projects can then move forward based on the plan.

**MOTION** by Burke-Smith, supported by McNiff to recommend the Planning Commission Draft Capital Improvements Plan 2021-2027 to City Council. On a roll call vote; ayes- Burke Smith, Banfield, Davis, Hall, McNiff, Reed, C Zuzga; nays- none; **MOTION CARRIED.**

**MOTION** by Davis, supported by McNiff to receive Zoning Amendment Request #RZ21.01 from the Calhoun County Land Bank Authority to rezone 410 East Drive from POSD (Professional Office Service District) to R-2 (Suburban Residential District).

Nelson stated that this is the first step in getting the property moving forward. She further stated that once it is rezoned, they intend to seek a Planned Urban Development. Krista Trout-Edwards of the Calhoun County Land Bank stated that this is a project that has been in the works since 2017 when the former State Farm building was demolished. She further stated that in 2019 they worked with the MEDC to put together a plan and a showcase was held right before COVID hit in 2020 with many interested developers, but after the shutdown many didn't want to go through the whole process, just the building portion. The current concept places 6 homes on East Dr this year. E Zuzga stated that part of the reason that the City and Land Bank are taking this step is to help jump start the project. East Drive is scheduled for a road project this year and the City would like to take advantage of the opportunity to install services while the road is already under construction.

Banfield questioned if the Land Bank was acting as the developer. Trout-Edwards stated that the Land Bank is acting as the developer of the subdivision, but not of the actual construction of the homes. Banfield questioned the narrowness of the lots. Trout-Edwards stated that this will increase the density of the area while still keeping them single family homes. Banfield questioned if the homes would face East Drive or the new alley that will be installed. Trout-Edwards stated that the alley will be used to access to the homes, and the front facing East Drive will be all green space. They are looking at sidewalk to connect to the school and surrounding area and a long-term plan to increase the walkability for the area.

**MOTION** by Davis, supported by McNiff to receive Zoning Amendment Request #RZ21.01 from the Calhoun County Land Bank Authority to rezone 410 East Drive from POSD (Professional Office Service District) to R-2 (Suburban Residential District). On a roll call vote; ayes- Burke Smith, Banfield, Davis, Hall, McNiff, Reed, C Zuzga; nays- none; **MOTION CARRIED.**

**MOTION** by Davis, supported by McNiff to Schedule a Public Hearing for February 10, 2021 for Zoning Amendment Request #RZ21.01 from the Calhoun County Land Bank Authority to rezone 410 East Drive from POSD (Professional Office Service District) to R-2 (Suburban Residential District). On a roll call vote; ayes- Burke Smith, Banfield, Davis, Hall, McNiff, Reed, C Zuzga; nays- none; **MOTION CARRIED.**

**MOTION** by McNiff, supported by Reed to receive Special Land Use Request #SLU21.01 for 1717 Pratt Avenue from MPM-C Marshall LLC.

Nelson stated that the city recently adopted the ordinance change that adds hoop houses as a Special Land Use in areas zoned I1 and I2. This is just for receiving the application, and the actual decision will be made at the February 10 meeting. She further stated that City Attorney Revore is working with staff to come up with an agreement that will be presented at that meeting. C Zuzga stated that she had a few concerns with items on the site plan that don't comply with the zoning ordinance and questioned whether they should be discussed at this meeting or at the February meeting. Nelson stated that staff is working with the petitioner on issues with the site plan to have them addressed. Davis stated that receiving the site plan starts a timeline for the petition and that he feels it is helpful to let the petitioner know of any potential concerns now. Banfield stated that in the past the commission has offered their concerns upon receiving the site plan to allow the petitioner to address those concerns before the next meeting.

Banfield stated that when they were developing the ordinance it only allowed the hoop houses to be 8 feet tall with an 8-foot fence, which would have screened it entirely, but it was changed to allow 18-foot hoop houses with 8 foot fences. He further stated that the ordinance goes on to say that the hoop houses must be entirely screened and the site plan states that since it is in the woods it would meet this screening requirement. He stated that while this would be true during the summer, that area is mainly deciduous, so for the majority of the year it would not be screened unless some evergreen trees were planted. He questioned where the run off from the structure would go. He further questioned how lighting would work for the structure. Nelson stated that they do not have plans for lighting and will use natural light for growing. She further stated that staff has addressed the need for some lighting for security.

C Zuzga questioned if fire suppression would be needed given the size of the structure and that they are hoop houses. She stated that the minimum setback requirements are not being met and that only the area around the buildings is set to be paved, but the ordinance requires parking to be paved as well. She further stated that one of the six factors that must be considered for a Special Land Use pertains to smell and that she would like to know what their plan is to mitigate any odors. C Zuzga further questioned if the building code would require the hoop houses to be attached to the ground and that if there were concrete slabs involved that it would change the run off. E Zuzga stated that he would check with the City Building Inspector. Banfield stated that traditionally hoop houses are put straight into the ground without a foundation. C Zuzga stated that with the number of structures and them being right next to each other they may need to be attached somehow. Davis questioned if the building code applies as they are only temporary structures.

Hall questioned what would happen after the three years of the Special Land Use is up. Revore stated that the intent is to not renew any hoop houses and that removing them is part of the Special Land Use process. He further stated that the intent is to not have any blighted structures after the useful life is up. Banfield stated that he would be interested to hear what would be done with the plastic after the 3 years is up. He further stated that the intent is to allow a company to grow and make money for a permanent structure. McNiff questioned if the commission can require a bond to ensure removal after the 3 years. Davis stated that he believes that is in the ordinance and that it is something that has been done in other situations in the past. Revore stated that he doesn't believe it is in the ordinance, but that it was discussed and he doesn't believe it is unreasonable to include. He further stated that this is a more complicated Special Land Use and having a performance bond is not a bad idea.

**MOTION** by McNiff, supported by Reed to receive Special Land Use Request #SLU21.01 for 1717 Pratt Avenue from MPM-C Marshall LLC. On a roll call vote; ayes- Burke Smith, Banfield, Davis, Hall, McNiff, Reed, C Zuzga; nays- none; **MOTION CARRIED.**

**MOTION** by McNiff, supported by Burke-Smith to set a Public Hearing for February 10, 2021 for Special Land Use Request #SLU21.01 for 1717 Pratt Avenue from MPM-C Marshall, LLC for the construction of Hoop Houses. On a roll call vote; ayes- Burke Smith, Banfield, Davis, Hall, McNiff, Reed, C Zuzga; nays- none; **MOTION CARRIED.**

**MOTION** by McNiff, supported by Burke Smith to receive Site Plan application #SP21.01 for 1717 Pratt Avenue for MPM-C Marshall, LLC. On a roll call vote; ayes- Burke Smith, Banfield, Davis, Hall, McNiff, Reed, C Zuzga; nays- none; **MOTION CARRIED.**

**MOTION** by Davis, supported by McNiff to receive and approve Site Plan application #SP21.02 for 343 Mulberry Street, Delta One.

Mike Johnson of Delta one stated that this is for the 343 S Mulberry St and that with the vacating of the road on Sycamore, the plan is to make a campus between this site and 420 Sprue. The plan is to eventually divert all traffic to come in from the east. He further stated that there will be screening and minimal traffic on the Mulberry side of the project. He stated that they have changed construction method to include sealing the building and adding metal panels to create a better vapor barrier and revitalize the building. Banfield questioned if the roof would need to be replaced. Johnson stated that the flat roof portion that had been leaking was replaced but the rest of the roof is still in decent shape. Banfield questioned what would be coming out of the double gate on Mulberry Street and how often it would be used. Johnson stated that it would be used for deliveries in small van style vehicles approximately twice a month. He further stated that the plan is to have all deliveries going to the 420 Spruce site once construction is completed and that they are looking at changing the address of the campus to have trafficked directed in from the east. Banfield questioned if there were two different types of fencing in the plan. Johnson state that there is a screening fence on the Mulberry side of the campus and a traditional chain link fence. Banfield questioned if the fence would look uniform when the fence was closed. Johnson replied that it would.

Ron Goodwin of 330 S Mulberry stated that the neighbors and he have several concerns. His first concern is why there needs to be 2 gates. He is fine with the gate in the cul-de-sac as it isn't even big enough for a car to turn around in, but is concerned with the second gate as he doesn't want trucks to be coming out of that drive and having to drive on neighbors' grass to get out of the gate. He further stated that he would like to see where there is gravel for a parking lot to be planted with grass opposed to having it be for deliveries. He stated that the site plan shows a door off of Sycamore that is currently a garage style door that they are converting into a double door, but that he believes it would make more sense for the trucks to be on the Sycamore side opposed to the Mulberry side. He is concerned with the property values for the area and the look of the business in the residential neighborhood. He stated that his biggest concern is the smell as it is a residential neighborhood. He stated on the south side of the building there is a large pile of dirt near the fire hydrant that he believes poses an issue for future emergencies. He reiterated that his biggest concerns are the smell, the traffic and having two gates on the Mulberry side. He believes all traffic could be diverted to the Sycamore side with the Mulberry side being strictly for emergencies. He would also like for the gravel to be removed as it gets brought out with the run off and creating a gravel road.

Banfield questioned if the fence on the Mulberry side would be 8 feet tall. Johnson replied that it would be. C Zuzga questioned if there only being 2 trucks a month being brought in on the Mulberry side if it was possible for them to be brought in on the Sycamore side. Johnson stated that is the long-term goal, but for the short term to get the site operational during construction of the campus it is needed access. It would not be a long term of heavily used entrance. C Zuzga questioned if there is an ordinance in the city that only allows trucks on certain roads or at certain times. E Zuzga stated that there is a City Ordinance but there is a coordination clause that was being used to allow the trucks on other roads. Goodwin stated that there is a sign on the road that states no truck traffic.

Johnson stated that the area where there is currently gravel, will be paved with asphalt. Goodwin questioned where the storm water will go. He stated that the storm water will go into a detention pond on the east side of the property. Banfield questioned how the water from the west side of the building will get to the detention pond. C Zuzga stated that there appears to be a drywell on the west side of the property. Davis stated that the approval of the site plan should be subject to the review of the City Engineer that the storm water will be detained on site and not overflow on to Mulberry Street.

Banfield questioned the need for 2 gates on the Mulberry side. Johnson stated that the curb is currently cut to allow 2 access points, so they kept both for emergency vehicles. Banfield questioned if they would be able to maneuver without the second gate. Johnson stated that he believes they would. Banfield questioned if there was a condition to eliminate one of the gates and what Johnson felt was an acceptable timeframe in

which they could divert traffic off of Mulberry completely. Johnson stated that he believes all the traffic could be converted within 18 months, and that they could eliminate one of the gates.

C Zuzga questioned if there will be any outdoor storage or operations on the property. Johnson stated that construction material may be stored outside, but nothing operational or storage beyond construction materials.

Goodwin stated that his main concern is still the smell. Johnson stated that there will be a 4-inch-thick metal panel and foam sprayed on the interior of the building. Banfield stated that the ordinance addresses odor issues. Nelson stated that if there is an odor complaint it will be handled as a code violation.

Banfield stated that the commission should add conditions to the approval of the site plan. The first condition should be that the South Mulberry gate will only be used until July 30, 2022 at which point it will be used for emergency vehicles only. The second condition being that they eliminate the second northerly gate on the Mulberry side. C Zuzga added the third condition being that there is a storm water management plan that maintains all storm water on site approved by the city engineer. Banfield questioned Johnson if he felt that these are conditions that could be met by Delta 1. Johnson replied that his main concern falls with the Mulberry side becoming emergency only as there is mechanical equipment on that side of the building that may need to be serviced. Banfield questioned if that was the only way to access the equipment. Johnson replied they could walk through the building or property. McNiff questioned if fire access would be an issue with the gate. Banfield replied that there would be a Knox box for the fire department to gain access.

**MOTION** by Davis, supported by McNiff to receive and approve Site Plan application #SP21.02 for 343 Mulberry Street, Delta One with the following conditions

- 1) The Northerly gate on South Mulberry will be eliminated from the plans.
- 2) The remaining gate on South Mulberry will only be used until July 30, 2022 at which point it will be for emergency vehicle access only.
- 3) The City Engineer approves a storm water management plan that maintains all storm water on site.

On a roll call vote; ayes- Burke Smith, Banfield, Davis, Hall, McNiff, Reed, C Zuzga; nays- none;  
**MOTION CARRIED.**

## **OLD BUSINESS**

None

## **PUBLIC COMMENTS NOT ON AGENDA**

None

## **REPORTS**

Chair Banfield welcomed Council Liaison Wolfersberger to the Commission. Wolfersberger stated that he is also on the Northeast Neighborhood Improvement Authority Board and the zoning board of appeals he is looking forward to seeing more of the planning process. He further stated that the information from the meetings will be great to bring back to council.

Davis stated that the South Neighborhood Improvement authority approved the development agreement for phase one of Alwyn Downs, which will include 19 duplexes, for a total of 28 residences off of Circle Drive. He further stated that Marshall will be the first municipality to take advantage of the tax capture opportunity

offered by the state. The first phase is already zoned and plated and they will be within all the setback limitations. E Zuzga stated that there will be a phased PUD for the rest of the development.

Nelson stated that the February meeting will have another full agenda. She further stated that Love's Truck Stop is looking at a couple small additions to their building, but there haven't been any plans submitted yet.

**ADJOURN**

Planning Commission adjourned at 8:43 p.m.

Submitted by,

Michelle Eubank

## MARSHALL PLANNING COMMISSION

Staff report for February 10, 2021

**To:** Planning Commissioners  
**From:** Trisha Nelson, Planning and Zoning Administrator  
**Subject:** Rezoning Request #RZ21.01 – from the Calhoun County Land Bank Authority to rezone 410 East Drive from POSD (Professional Office Service District) to R-2 (Suburban Residential District)

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### **SUMMARY**

The Calhoun County Land Bank Authority (CCLBA) is seeking to rezone the 8.23-acre property located at 410 East Drive, the former State Farm site, from POSD (Professional Office Service District) to R-2 (Suburban Residential District).

### **BACKGROUND**

The CCLBA is submitting the attached rezoning request for the first phase in reaching the long-term goal of creating much needed residential development in the City. This request is the first in a two-part rezoning request that will result in a PUD request based on the conceptual site plan attached. The CCLBA expects to approach the PUD process in phases and plans to develop the lots along East Drive this year while creating additional building sites for the future as the funding allows.



### **MASTER PLAN**

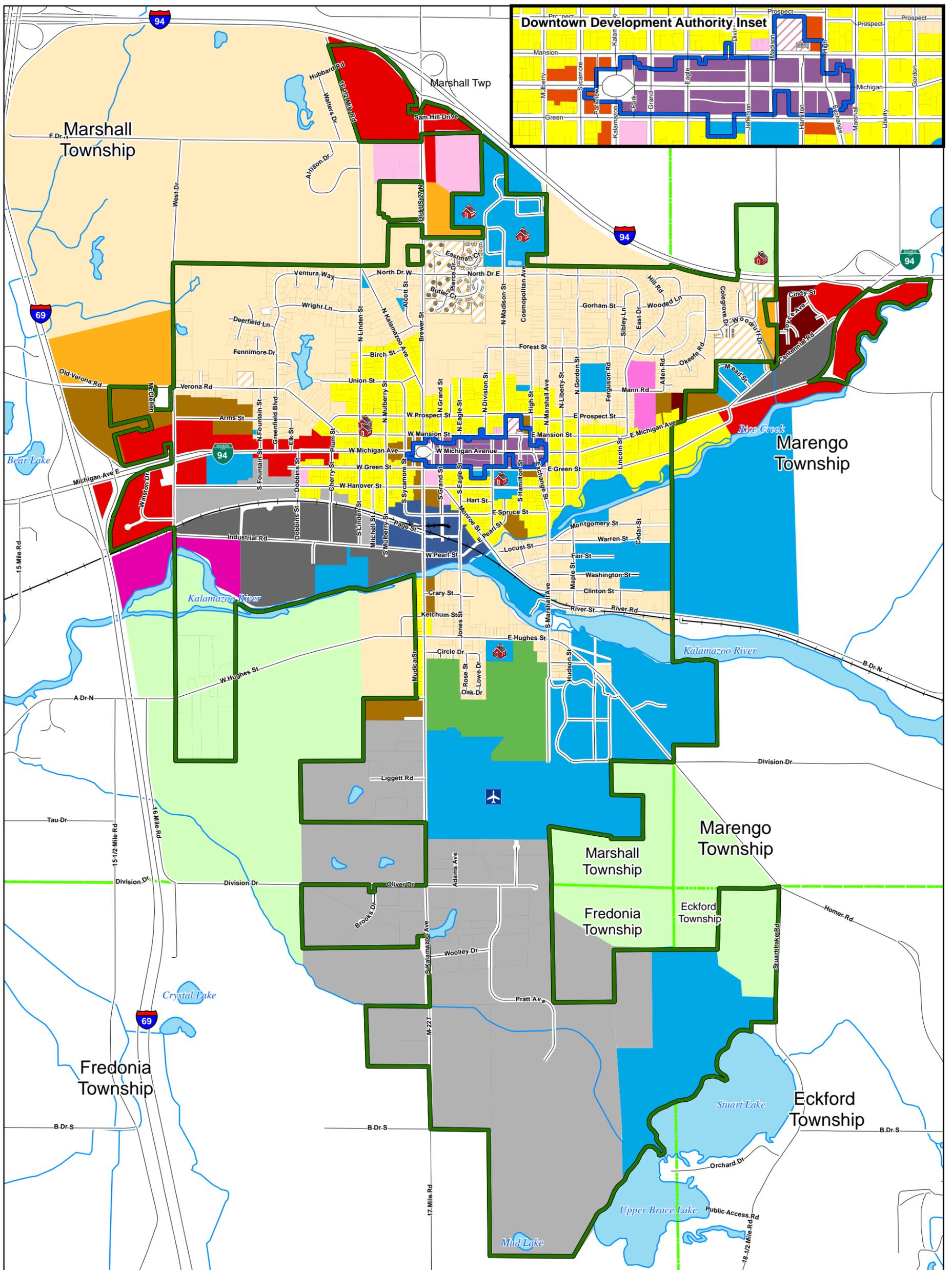
It is important to consider the Master Plan when making rezoning decisions to ensure alignment. According to Section 4. Future Land Use of the Master Plan, 410 East Drive is listed as Special Project Area 1. The Master Plan identifies one of the potential uses of this area as single-family development and states a preference for a planned unit development to address the whole site. The rezoning request is solely for the property north of Mann Road, as the property south of Mann Road that is also identified as Special Project Area 1 has been purchased by Oaklawn Hospital. The rezoning of this

site would fit the vision set forth in the Master Plan and compliment the surrounding area.

The Planning Commission must decide whether the requested zoning classification of R-2 Suburban Residential District is suitable for the property and work through the rezoning criteria worksheet.

**RECOMMENDATION**

After hearing public comment, it is recommended the Planning Commission formulate a recommendation to City Council. The Council will receive the recommendation at their February 16, 2021 meeting.



- |                                    |                         |                                     |
|------------------------------------|-------------------------|-------------------------------------|
| Residential 1 (max. 1 unit/acre)   | Special Project Area 1  | River District Mixed Use            |
| Residential 2 (avg. 4 units/acre)  | Special Project Area 2  | Hospital                            |
| Residential 3 (max. 10 units/acre) | Downtown Mixed Use      | Public / Semi-Public                |
| Residential 4 (max. 10 units/acre) | Transitional Mixed Use  | Private Recreation                  |
| Residential 5 (max. 12 units/acre) | Office                  | General Industrial                  |
| Manufactured Housing               | Commercial              | City of Marshall Municipal Boundary |
| Planned Unit Development           | Research and Technology | DDA                                 |

# Future Land Use

## City of Marshall

### Calhoun County, Michigan



**clearzoning**  
CLEAR AND CONNECTED

0 0.25 0.5 1 Miles

This map does not alter the zoning of any parcel.

Source: Calhoun County GIS,  
Michigan Geographic Data Library  
Created March 5, 2015

# SPECIAL PROJECT AREA I

## Former State Farm Michigan Operations Center



The Golden Rule property (formerly the State Farm Michigan Operations Center) north of East Michigan Avenue occupy five separate parcels of land totaling 16.5 acres. The site is bisected by Mann Road. Much of the site is devoted to a very large parking lot.

In 2004, State Farm Insurance closed its Michigan Operations Center on Marshall's east side, eliminating 569 jobs. At the time, the center was the City's third-largest employer, and its loss had economic ripple effects for the community and the county. Today, the former site of the operations center, now controlled by Golden Rule, remains vacant, and is the largest area of fully developed land not currently in use in the City.

The 2008 Master Plan designated this site as Special Project Area 1 on the Future Land Use map, and identified single family residential, senior housing, office, educational, and public or institutional development as potential uses if the site were to be redeveloped. The plan also stated a preference for a planned unit development to address the whole site in a planned and coherent manner. The City may need to be prepared to rezone the property in order to facilitate the type of redevelopment it would like to see. The City may also consider different uses north and south of Mann Road.

Given the cost of removing the existing buildings and impervious surfaces on the property, any major redevelopment of the site will likely take the form of a public/private partnership. External funding for site cleanup may help lend a spark to redevelopment. In the meantime, the City should consider the type of development it would like to see on the site; given its location in an otherwise residential neighborhood, primarily residential redevelopment may be most appropriate, perhaps with modest open space, commercial, office, or public elements. Important considerations aside from use include height and density; the City must weigh demand and consider the level of density that would be required to make such a redevelopment project financially feasible.

Redevelopment of the property may potentially offer the City a way to address its emerging demographic challenges: an aging population, some of which is leaving the City as it ages. Providing a well-designed concentration of senior housing that addresses the needs of the population, from those that remain highly active to those who require enhanced services, could allow more seniors to remain in Marshall. Alternatively, the site could host a satellite university center that offers local access to higher education.

Regardless of future use, an available site of this size near the City center with no contamination issues is a potential asset.

**1. Introduction**

**2. Context**

**3. Goals & Objectives**

**4. Future Land Use Plan**

**5. Implementation**

**6. Appendix**

**Contents**



January 4, 2021

City of Marshall  
Attn: Trisha Nelson, City Clerk  
323 Michigan Ave W  
Marshall, MI 49068

RE: Rezone request of 410 East Drive from POSD to R2 to create a residential development on this 8.23 acre property consisting of sixteen single-family houses, eight duplexes, and fourteen cottages.

Dear Ms. Nelson,

The Calhoun County Land Bank Authority (CCLBA) is seeking the rezoning of an 8.23-acre property located at 410 East Drive from POSD to R2 to support a residential development that would be consistent with surrounding uses and benefit the neighborhood. The property is the former site of the State Farm headquarters building, which went through the local property tax foreclosure process in 2016, after sitting vacant for more than a decade. At the time of the foreclosure, the County Treasurer's Office worked closely with the Marshall Area Economic Development Alliance (MAEDA) to find a developer interested in investing in and rehabilitating the site, when no developer materialized the site was deeded to the CCLBA by default at the end of the foreclosure process.

Based on the unsuccessful developer search and auction process, the CCLBA determined that the building was obsolete and in need of demolition. As such, the CCLBA used its grant funding from the Environmental Protection Agency (EPA) to complete the necessary environmental assessments to prepare the site for demolition. In addition, it sought, and was awarded, funding from the Michigan State Housing Development Authority to assist with the project and received additional monetary support from the County Treasurer to complete it; the demolition was finalized in 2019.

Throughout its ownership, and acting as a responsible property owner, the CCLBA has engaged residents in dialogue about the site's future through public meetings. In 2019, it received monetary support from the Michigan Economic Development Corporation to engage a consultant, Abonmarche, to assist with a residential site design and public input process. This process incorporated previous community input about density as well as the need to diversify the city's housing choices, and resulted in the site plan attached in Exhibit A. This site plan contains sixteen single family lots, eight duplex sites, and fourteen cottages all accessed by an interior road that joins Mann Road to the south.



CCLBA staff, along with the MEDC and Abonmarche, hosted a successful Showcase Event in February of 2020 for interested developers. Unfortunately, the COVID-19 pandemic interrupted the developer search and created uncertainty in the housing and development markets. The CCLBA was forced to delay its deadlines due to the statewide shutdown, and by the time the project came back online in the fall of 2020 the landscape had significantly changed. After interviewing developers and analyzing housing costs, the CCLBA is now seeking to rezone the site to R2 to set the stage for a rezone request to Planned Unit Development (PUD) for a future mixed residential housing development.

This request is the first in a two-part rezoning request that will result in a PUD request based on the site plan attached here. The proposed plan contains forty-six residential units ranging from single-family houses to duplexes to cottages. The development would be served from an entrance off Mann Road, and houses along East Drive would be served by a back entrance along an alley. The alley design is in part to reduce parking along the road, but also to all for narrow lots and more green space along East Drive. The CCLBA expects to approach the PUD process in phases and plans to develop the lots along East Drive this year while creating additional building sites in the future as funding allows.

The rezone request, a request to rezone the site from POSD to R2, is consistent with the surrounding zoning pattern of adjacent land and is in keeping with the many discussions held with the city and interested parties. The long-term goal is to create a residential development that compliments surrounding properties and benefits the community by providing much needed new housing.

Sincerely,



Krista Trout-Edwards  
Executive Director

Enclosure: Site Plan





**SITE DATA**

(ALL NUMBERS ARE PRELIMINARY AND APPROXIMATE):

**1. SINGLE FAMILY HOME**  
16-17 Lots  
Average Lot Size: 50' x 85'

**2. DUPLEX**  
8 Buildings x 2 Units  
= 16 Housing Units

**3. BUNGALOW HOMES**  
900 SFT.  
14 Units

**TOTAL HOUSING UNITS = 47**





**CCLBA rezoning request – 410 East Drive, Marshall, MI**

**Legal Description:** MARSHALL CITY, PART OF SEC 24-2-6 BEG SE COR LOT 140 EAST DR PLAT NO. 5 W ALG N LI MANN RD TO EAST DR-NLY ALG E LI EAST DR TO S LI EAST DR PLAT NO. 2- ELY ALG S LI EAST DR PLAT NO. 2 & 4 TO W LI EAST DR PLAT NO. 5 S TO POB.

**Parcel Number:** 53-002-270-00

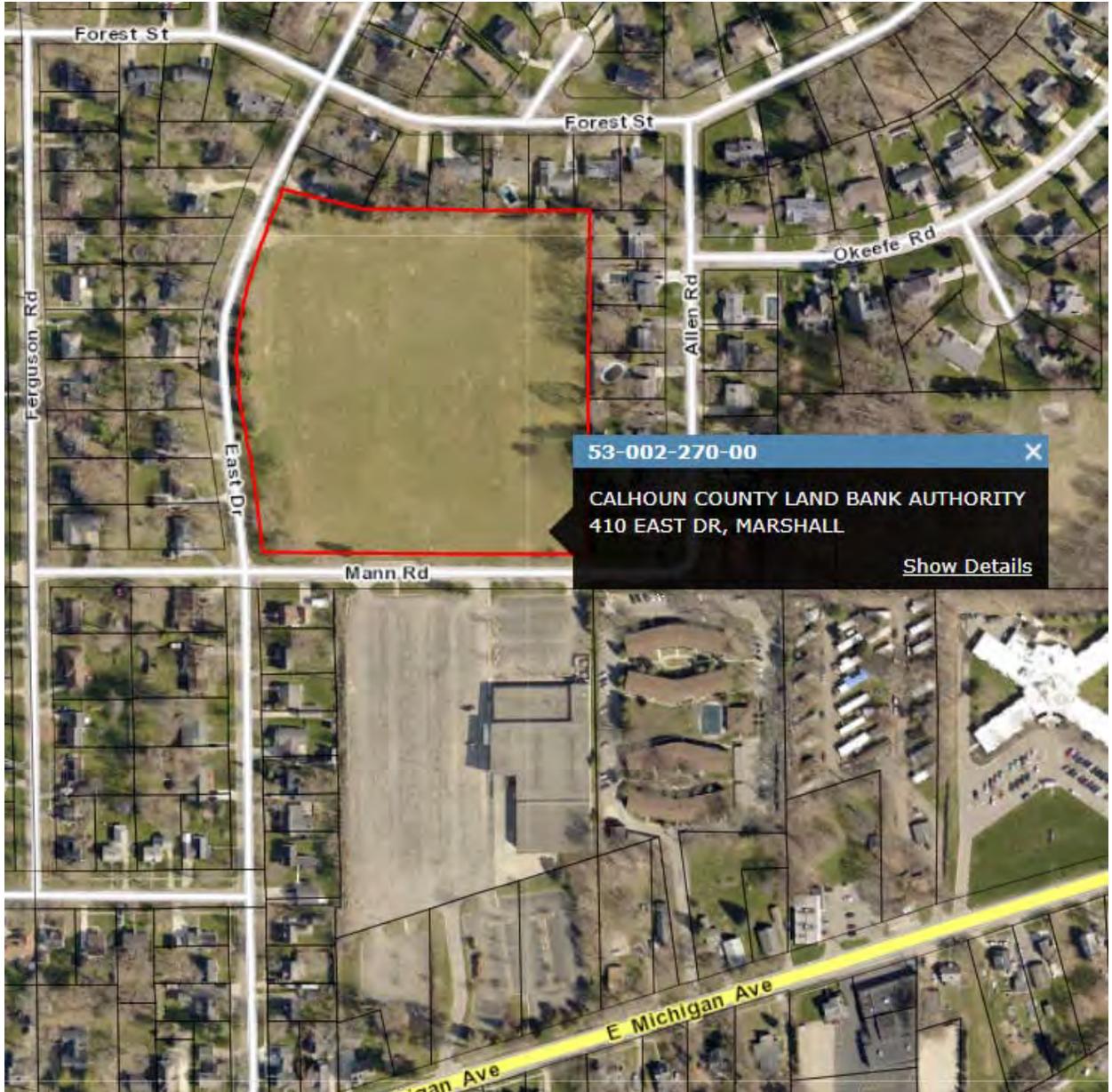


## **Rezoning Criteria – Finding of Fact**

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- 1. The proposed zoning district is more appropriate than any other zoning district, or more appropriate than adding the desired use as a special land use in the existing zoning district.**
- 2. The property cannot be reasonably used as zoned.**
- 3. The proposed zone change is supported by and consistent with the goals, policies and future land use map of the adopted city master plan. If conditions have changed since the plan was adopted, as determined by the Planning Commission, the consistency with recent development trends in the area shall be considered.**
- 4. The proposed zone change is compatible with the established land use pattern, surrounding uses, and surrounding zoning in terms of land suitability, impacts on the environment, density, nature of use, traffic impacts, aesthetics, infrastructure and potential influence on property values, and is consistent with the needs of the community.**
- 5. All the potential uses allowed in the proposed zoning district are compatible with the site's physical, geological, hydrological and other environmental features.**
- 6. The change would not severely impact traffic, public facilities, utilities, and the natural characteristics of the area, or significantly change population density, and would not compromise the health, safety, and welfare of the city.**





53-002-270-00

CALHOUN COUNTY LAND BANK AUTHORITY  
410 EAST DR, MARSHALL

[Show Details](#)

## MARSHALL PLANNING COMMISSION

Staff report for February 10, 2021

**To:** Planning Commissioners  
**From:** Trisha Nelson, Planning and Zoning Administrator  
**Subject:** Special Land Use Application #SLU21.01-1717 Pratt Avenue,  
Parcel #53-003-002-20.

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**BACKGROUND:** Recently enacted City Ordinances No. 2020-14 added “Hoop House” and “Commercial Greenhouse” to the City’s Zoning Code and City Ordinance No. 2020-15 amended City Ordinance 2020-15 to add Hoop House” and “Commercial Greenhouse” to the City’s Commercial Marihuana Ordinance. Both ordinances require a special use permit for cultivation of marihuana in either a hoop house or commercial greenhouse before commencement of marihuana cultivation operations.

In accordance with the City’s ordinances, Michigan Pure Med has submitted an application for a special use permit for the cultivation of marihuana at 1717 Pratt Avenue in hoop houses.

MPM has submitted Site, Landscaping, Security and Odor plans for staff review. MPM’s Site Plan and Landscaping Plan and a DRAFT SLU Permit have been prepared for Planning Commission review. Staff is reviewing the Security and Odor Plans.

**SLU PERMIT SUMMARY:** The SLU Permit requires as a condition prior to marihuana operations that MPM have obtained or received prequalification for all required licenses, and City approval for the operations, Security, Odor Mitigation, Site, and Landscaping Plans prior to the effective date of the SLU Permit. In addition, the SLU Permit requires that all marihuana operations be in compliance with State law and regulations, and the City’s ordinances. The SLU Permit is only effective through December 1, 2023, and may not be extended or renewed, and all hoop houses must be dismantled and materials removed by April 1, 2024. The permitted use of hoop houses is limited to the hours of 7:00 a.m. to 8:00 p.m., Monday through Friday, and 8:00 a.m. to 7:00 p.m. on Saturdays

and Sundays. However, the hours of operation for MPM's security and administration of the SLU Permit are not restricted, and hoop houses hours are not restricted during harvest of marihuana during the months of September and October, provided that such operations do not cause a nuisance.

**RECOMMENDED ACTION:** It is recommended Planning Commission review MPM's SLU application, Site Plan and Landscaping Plan, and forward to the City Council with Planning Commission's recommendation.

**CITY OF MARSHALL, MARSHALL MICHIGAN**

**SPECIAL LAND USE PERMIT (SLU) NO. \_\_\_\_\_**

By the action of the Marshall City Council, pursuant to the recommendation of the Marshall Planning Commission, the Special Land Use Permit is granted to GREAT LAKES FARMS PROPERTIES, LP and MICHIGAN PURE MED (hereinafter, collectively, "Grantee") on the \_\_\_\_ day of \_\_\_\_\_, 2021, effective upon City approval of Grantee's aforementioned plans as specified herein, and the terms and conditions of this SLU Permit, to allow the growing of marihuana, under the conditions of this SLU Permit, on an approximately 26.44 acre site, located at 1717 Pratt Avenue, Marshall, Michigan, 49068, parcel identification number, 53-003-002-20. The Property is legally described as follows:

A PARCEL OF LAND LOCATED IN THE SOUTHEAST ¼ SECTION 1, T3S-R6W, CITY OF MARSHALL, CALHOUN COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS: BEGIN AT S ¼ COR OF SD SEC; TH S 89DEG 27' 27" E ALG S LN OF SD SEC, 742.66 FT; TH N 00DEG 07' 05" W, PAR WITH N-S ¼ LN OF SD SEC, 1525.00 FT; TH N 89DEG 27' 27" W, PAR WITH SD S LN OF SD SEC, 834.66 FT TO ELY ROW OF PRATT AVE; TH ALG SD ROW 30.28 FT ALG THE ARC OF A CURVE TO LEFT, RADIUS 57 FT AND CHORD BEARS S 04DEG 51' 25" E 29.92 FT; TH CONT ALG SD ROW 72.24 FT ALG ARC OF CURVE TO RIGHT, RADIUS 98.00 FT, CHORD BEARS S 00DEG 57' 05" W, 70.71 FT; TH CONT ALG SD ROW, 74.29 FT ALG ARC OF CURVE TO LEFT, RADIUS 57.00 FT AND CHORD BEARS S 15DEG 16' 09" E. 69.14 FT; TH S 37DEG 23' 39" W ALG SD ROW, 60.00 FT; TH N 89DEG 52' 55" E, 109.30 FT TO N-S 1/4 LN OF SD SEC 1; TH S 00DEG 07' 05" E ALG SD 1/4 LN, 1311.31 FT TO POB 26.44 A M/L AND SUBJECT TO ANY EASEMENTS, RESTRICTIONS, OR CONDITIONS OF RECORD. SPLIT OFF 003-002-00 FOR 2018 ROLL (ALONG WITH 003-002-10 AND 003-002-15)

(Hereinafter, collectively, 1717 Pratt Avenue and legal description, the "Property".)

PROVIDED HOWEVER, that the uses Permitted herein shall be subject to the following conditions and requirements:

**I. CONDITIONS PRECEDENT TO THE EFFECTIVE DATE OF THIS PERMIT:**

- A. Grantee has obtained or received prequalification for all required licenses from the Department of Licensing and Regulatory Affairs and the Marijuana Regulatory Agency relative to the growing and processing of marihuana to be conducted at the Property area as identified in this SLU Permit; and Grantee has obtained all required licenses from the City of Marshall and all licenses are identified and license fees paid.
- B. Grantee has submitted an Operations Plan to the City and received approval from City officials and said Plan must be maintained.

- C. Grantee has submitted a Security Plan to the City and received approval from City officials and said Plan must be maintained.
- D. Grantee has submitted an Odor Mitigation Plan to the City and received approval from City officials and said Plan must be maintained.
- E. Grantee has submitted a Site Plan and Landscaping Plan to the Planning Commission and received approval from the Planning Commission and said Plans must be maintained.

**II. CONDITIONS RELATIVE TO MARIHUANA OPERATIONS:**

- A. Conditions identified and required in Section I (A-D) above are hereby incorporated as fully set forth in Section II.
- B. That all marihuana growing, and marihuana processing operations (hereinafter, “Marihuana Operations”) shall be conducted by the Grantee and restricted to the Property area as identified in this SLU Permit.
- C. That all Marihuana Operations shall be in compliance with the Michigan Marihuana Facilities Licensing Act (MMFLA), the Michigan Regulation and Taxation of Marihuana Act (MRTMA), and their associated administrative rules issued by the Department of Licensing and Regulatory Affairs and the Marijuana Regulatory Agency (MRA), and any legislation that amends the MMFLA and/or MRTMA and their associated administrative rules.
- D. That all Marihuana Operations shall be conducted in compliance with the City of Marshall’s Ordinances and applicable codes, including but not limited to, building codes and regulations.
- E. That all Marihuana Operations shall be conducted in compliance with applicable state building codes and regulations.
- F. That all Marihuana Operations shall be conducted in conformity with:
  - 1. Operations Plan,
  - 2. Security Plan, to include security fencing and lighting requirements, and Grantee security staffing personnel,
  - 3. Landscaping Plan,
  - 4. Odor Mitigation Plan, to include such measures as:
    - i. Grantee shall install and maintain in operable condition a system which precludes the emission of unreasonable marihuana odors from the Property.

- ii. Grantee shall prohibit cultivation activity that results, or may responsibly result, in the emission of any gas, vapors, unreasonable odors, smoke, dust, heat or glare that is noticeable at or beyond the property line. Sufficient measures and means of preventing the escape of such substances from a Hoop House or Greenhouse must be provided at all times. In the event that any gas, vapors, unreasonable odors, smoke, dust, heat or glare, or other substances exit a Hoop House or Greenhouse, Grantee shall be liable for such conditions and shall be responsible for immediate, full clean-up.
  - iii. Grantee properly dispose of all such materials, items and other substances in a safe, sanitary and secure manner and in accordance with all applicable federal, state and local laws and regulations.
- G. All Marihuana Operations on the Property are subject to 24-hour inspection, without advance notice, by State officials and City officials, including but not limited to, members of the Marshall Building and Planning Departments, Police and Fire Departments, Finance, City Administration and City Attorney, as necessary, in the opinion of said officials, to determine compliance with this SLU Permit.
- H. All Marihuana Operations shall cease on or before December 1, 2023, and all Hoop Houses dismantled and Hoop House materials shall be removed from the Property on or before April 1, 2024. Should Grantee fail to remove the Hoop House(s) and return the Hoop House site to its natural state, or redevelop as permitted by City ordinances and codes, Grantee permits, allows, and authorizes the City, or its vendor, to effectuate the removal of the Hoop House(s) and return the site for use, not including hoop house cultivation, as permitted under City ordinances.
- I. A financial guarantee shall be provided in the amount of fifty thousand dollars (\$50,000.00) to the City of Marshall in the form of cash, a certified check or an Irrevocable Bank Letter of credit to assure the removal of the Hoop Houses and rehabilitation of the Hoop House site to its natural state. Said guarantee shall remain in effect until one (1) year after certification by the City Manager of the site being rehabilitated for use not including hoop house cultivation. Any interest accrued shall be waived by Grantee.
- J. That the Grantee obtain a policy to defend and indemnify the City, its Councilmembers, employees, and agents (collectively, the “City”), in an amount reasonably relevant to the Marihuana Operations, insuring the City against any loss or damage to persons or property, claims, and allegations, arising directly or indirectly from the Marihuana Operation of Grantee, or any person acting on behalf of Grantee in carrying on any activated connected directly or indirectly with the issuance of said SLU Permit.
- K. That the Grantee shall be responsible for compliance with the terms of this Permit and shall provide the City Manager’s Office with the name of three (s) persons that should be contacted in the event a term of this SLU Permit is violated. The Grantee shall

provide for where these individuals can be reached both by telephone, email, and mailing address.

- L. That Grantee shall comply with the requirements of all reviewing agencies.
- M. That Grantee shall employ measures as needed to assure that the public streets remain clear of mud, dust, and other materials from the Marihuana operations.
- N. Hours of operations. That the permitted use of Hoop houses is limited to the hours of 7:00 a.m. to 8:00 p.m., Monday through Friday, and 8:00 a.m. to 7:00 p.m. on Saturdays and Sundays. Hours of operation for Grantee's security and administration of this SLU Permit are not restricted. Hours of operations for hoop houses are not restricted during harvest of marihuana during the months of September and October, provided that such operations do not cause a nuisance.

### **III. GENERAL PERMIT CONDITIONS:**

- A. That Conditions identified and required in Sections I (A-D) and Section II (A-O) above are hereby incorporated as fully set forth in Section III.
- B. That this SLU Permit is granted for a period of three (3) years from the effective date through December 1, 2023 This SLU Permit shall not be extended nor renewed.
- C. That this SLU Permit is not assignable, transferable, or modifiable without the express written approval of the City Council. A request for transfer must be made in writing and include a representation or commitment by the proposed transferee to abide by all terms within this SLU Permit and any new or additional terms deemed necessary by the City Council at the time of transfer to safeguard the public interest.
- D. Except as otherwise provided herein, all representations of the Grantee in connection with its application for SLU Permit shall be deemed as continuing representations and incorporated herein by reference as if fully set forth. Further, all conditions and representations contained in the Grantee's Plans previously or hereafter approved are incorporated by reference as conditions of this SLU Permit.
- E. Marihuana Operations shall be conducted in accordance with the site plans, and all applicable plans identified herein, except as modified by the conditions of this SLU Permit.
- F. Any violations of the statutes and laws cited herein, associated administrative rules, City Ordinances and codes, terms of this SLU Permit, site plan, and other Grantee's plans, shall be cause for revocation of this Special Land Use Permit.
- G. The laws of the State of Michigan shall govern this SLU Permit and the venue for all legal proceedings in connection with this SLU Permit shall be Calhoun County, Michigan.

**IV. EFFECTIVE DATE:**

- A. DUE AUTHORIZATION. The City and Grantee warrant and represent to the other that this SLU Permit and the terms and condition thereof have been duly authorized and approved by the City Council and Grantee, GREAT LAKES FARMS PROPERTIES, LP, and MICHIGAN PURE MED, and their owners and officers, and affiliates or others that may have interest in the Marihuana Operations on the Property.
- B. That the persons who have executed this SLU Permit below have been duly authorized to do so.
- C. That Grantee, GREAT LAKES FARMS PROPERTIES, LP, and MICHIGAN PURE MED, and their owners and officers, and affiliates, or others that may have interest in the Marihuana Operations on the Property, hereby agree to all terms and conditions as set forth in this SLU Permit.
- D. Construction of buildings, structures, Hoop Houses, and direct and indirect construction for Marihuana Operations, and direct Marihuana Operations, are only permitted pursuant and subject to this SLU Permit on or after the Effective Date of this SLU Permit.

This Special Use Permit granted to GREAT LAKES FARMS PROPERTIES, LP, and MICHIGAN PURE MED shall become effective on \_\_\_\_\_, 2021, and this recorded date of effect is that date on which conditions stated herein were certified as having been complied with.

WITNESSES:

CITY OF MARSHALL

\_\_\_\_\_

By \_\_\_\_\_  
Trisha Nelson, City Clerk

GREAT LAKES FARMS PROPERTIES, LP  
(Grantee)

\_\_\_\_\_

By \_\_\_\_\_  
Joseph Jarvis, \_\_\_\_\_

MICHIGAN PURE MED  
(Grantee)

\_\_\_\_\_

By \_\_\_\_\_  
Joseph Jarvis, \_\_\_\_\_

**CITY OF MARSHALL, MICHIGAN  
ORDINANCE #2020-14**

AN ORDINANCE TO AMEND CITY OF MARSHALL ZONING CODE, CHAPTER 2.0, DEFINITIONS, SECTION 2.2, AND CHAPTER 4.0 USE STANDARDS, SECTION 4.16, COMMERCIAL GREENHOUSES, NURSERIES AND GARDEN CENTERS.

THE CITY OF MARSHALL HEREBY ORDAINS:

**Section 1.** That **Chapter 2.0, Definitions** of the Marshall City Zoning Code, Section 2.2 "Definitions", is hereby amended to **add the following terms or words as defined as follows:**

**Hoop House.** A temporary structure used exclusively for the production and storage of live plants, with no permanent anchoring system or foundation; no storage, temporary or otherwise, of solvents, fertilizers, gases or other chemicals or flammable materials; built according to manufacturer recommendations; no more than 18 feet maximum height.

**Commercial Greenhouse.** A permanent structure that is constructed primarily of glass, glass-like or translucent material which is devoted to the protection or cultivation of plants, food or ornamental crops.

**Section 2.** That **Chapter 3.0, Zoning Districts** of the Marshall City Zoning Code, Section 3.1.12 "I-1 Research and Technical District", is hereby amended to **add "hoop houses" to the following Special Land Uses as follows:**

- v. Commercial greenhouses, **hoop houses**, nurseries, and garden centers.

**Section 3.** That **Chapter 4.0 Use Standards** of the Marshall City Zoning Code, Section 4.16 "Commercial Greenhouses, Nurseries and Garden Centers", is hereby amended to **add requirements for Hoop Houses and Commercial Greenhouses for marihuana cultivation as follows:**

Hoop Houses and Commercial Greenhouses for marihuana cultivation are permitted as special land uses in the I-1 district with no limits on square footage.

- 1. Hoop House. The following shall apply:
  - A. Setbacks shall be 1500 feet from any residential structure, 250 feet from the road right-of-way centerline, and 50 feet from any rear or side property line.
  - B. Limited duration not to exceed three (3) years.

- C. If a Hoop House contains any device subject to the electrical code or any mechanical equipment subject to the mechanical code, a permit shall be required for the device, system or fixture only. If the hoop house is connected to a potable water system, a permit shall be required for the backflow prevention devices only.
2. Commercial Greenhouse. The following shall apply:
- A. Setbacks shall be required under Section 3.1.12(D).
3. Hoop House and Commercial Greenhouse cultivation of marihuana. The following shall apply:
- A. Comply with applicable LARA/MRA rules and regulations, City ordinances and City Zoning Ordinance.
  - B. Subject to a Special Land Use permit under Section 6.2, permit and for special conditions as may be necessary based upon the uniqueness of the property, subject to a public hearing, review and recommendation by the Planning Commission, and approval by the City Council in accordance with the procedures and conditions specified in Section 6.2. of the Zoning Ordinance. A Special land Use permit may be revoked or rescinded by the City Council for violation of the SUP, City ordinance, Zoning Ordinance, or state law and regulations, after notice to the SUP holder and hearing.
  - C. As permitted in this section, the area containing the cultivation of marihuana plants must be completely confined and enclosed in a Hoop House or Commercial Greenhouse made of durable construction to include metal framing materials and durable translucent material on all sides and top of a Hoop House, or glass, glass-like or translucent material on all sides and top of a Commercial Greenhouse. Hoop Houses and Commercial Greenhouses may not exceed 18 feet maximum height.
  - D. Hoop Houses and Commercial Greenhouses must be located on the parcel of the grower establishment or facility, fully enclosed by property security fencing. Security fencing must be at a minimum of eight (8) feet in height.
  - E. Site Plan approval. Hoop Houses and Commercial Greenhouses are subject to site plan review and must receive approval.
  - F. Screening shall comply with Section 5.15.8, and also include the means, including walls and plantings, to accomplish complete visual screening from the road right-of-way and adjacent property. Hoop Houses and Commercial Greenhouses must have greenbelt barriers that block outside visibility of the marihuana plants from the

public view, with no marihuana plants growing outside the top of the Hoop House or Commercial Greenhouse nor above the fence and barrier that is visible to the public eye and the fences must be secured and comply with the applicable security measures in City ordinances and LARA/MRA rules and regulations, including but not limited to, locked entries only accessible to authorized persons or emergency personnel.

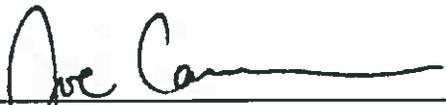
- G. After the marihuana is harvested, all drying, trimming, curing, or packaging of marihuana must occur inside a permanent building meeting all the requirements of City ordinance, state statute, codes and LARA/MRA rules and regulations.
- H. Hoop Houses and Commercial Greenhouses must meet the security requirements and pass inspections required under City ordinance and LARA/MRA rules and regulations and any necessary building permit pursuant to City ordinance, state statute, code and LARA/MRA rules and regulations.
- I. Odor Control. A grower or a processor shall install and maintain in operable condition a system which precludes the emission of unreasonable marihuana odor from the property.

**Section 4. Severability.** It is the legislative intent of the City adopting this Ordinance that all provisions hereof shall be liberally construed to protect the public health, safety and general welfare of the inhabitants of the City and all other persons affected by this Ordinance. Consequently, should any provision of this Ordinance be held to be unconstitutional, invalid or of no effect, such holding shall not be construed as affecting the validity of any of the remaining provisions of this Ordinance or Zoning Code, it being the intent of the City Council that this Ordinance shall stand and remain in effect, notwithstanding the invalidity of any provision hereof.

**Section 5.** This Ordinance shall be published in a newspaper of general circulation in the City of Marshall qualified under state law to publish legal notices. This Ordinance shall be recorded in the Ordinance Book and such recording shall be authenticated by the signatures of the Mayor and the City Clerk.

**Section 6.** This Ordinance is declared to be effective seven (7) days after publication or as provided by law.

Adopted and signed this 7<sup>th</sup> day of December, 2020.

  
\_\_\_\_\_  
Joe Garon, MAYOR

  
\_\_\_\_\_  
Trisha Nelson, CITY CLERK

I, Trisha Nelson, being duly sworn as the City Clerk for the City of Marshall, hereby certify that the foregoing is a true and complete copy of an ordinance approved by the City Council, City of Marshall, County of Calhoun, State of Michigan, at a regular meeting held on December 7, 2020, and that said meeting was conducted and public notice of said meeting was given pursuant to and in full compliance with the Open Meetings Act, being Act 267, Public Acts of Michigan, 1976, and that the minutes of said meeting were kept and will be or have been made available by said Act.



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Trisha Nelson, CITY CLERK

**CITY OF MARSHALL, MICHIGAN**

Ordinance No. 2020-15

**PREAMBLE**

AN ORDINANCE TO AMEND ORDINANCE NO. 2019-06 TO PERMIT THE OUTDOOR CULTIVATION OF MARIHUANA IN COMMERCIAL GREENHOUSES AND HOOP HOUSES CONSISTENT WITH THIS ORDINANCE, STATE LAW AND REGULATION; TO AMEND SECTIONS “DEFINITIONS”, “LOCATION AND ELIGIBILITY”, AND “MARIHUANA CULTIVATION”; TO AMEND ANY SECTIONS INCONSISTENT WITH ORDINANCE NO. 2019-06; AND TO ESTABLISH AN EFFECTIVE DATE AS PROVIDED BY LAW.

**The City of Marshall, Michigan Ordains:**

That Ordinance 2019-06 and the Code of Ordinances of the City of Marshall, Title XI Business Regulations, Chapter 121, Commercial Marihuana, as amended, to read as follows:

\*\*\*

**§ DEFINITIONS.**

Section “DEFINITIONS” is hereby amended to add following words, terms and phrases in Ordinance No. 2019-06, and shall have the meanings ascribed to them, except where the context clearly indicates otherwise:

\*\*\*

**COMMERCIAL GREENHOUSE.** A permanent structure that is constructed primarily of glass, glass-like or translucent material which is devoted to the protection or cultivation of plants, food or ornamental crops.

\*\*\*

**HOOP HOUSE.** A temporary structure used exclusively for the production and storage of live plants, with no permanent anchoring system or foundation; no storage, temporary or otherwise, of solvents, fertilizers, gases or other chemicals or flammable materials; built according to manufacturer recommendations; no more than 18 feet maximum height.

\*\*\*

**§ LOCATION AND ELIGIBILITY.**

Section “LOCATION AND ELIGIBILITY” is hereby amended to add following words, terms and regulations in Ordinance No. 2019-06:

\*\*\*

(D) Marihuana Establishment licenses permitted under this Ordinance are governed by type and location requirements, as follows:

(1) Marihuana Grower License:

\*\*\*

b. All grower establishments and operations must be within an enclosed, secured structure, and cultivation of marihuana may occur in an outdoor area confined to a “commercial greenhouse” or “hoop house” that must meet all the following conditions:

- i. Comply with applicable state law, rules and regulations, and City ordinances and City Zoning Ordinance.
- ii. Cultivation of marihuana in a commercial greenhouse or hoop house is only permitted and subject to a Special Land Use for special conditions (special land uses) in the identified Industrial District subject to the provisions of the City’s Zoning Ordinance. A Special land Use permit may be revoked or rescinded by the City Council for violation of the Special Land Use permit, City ordinance, Zoning Ordinance, or state law and regulations, after notice to the permit holder and hearing.
- iii. Cultivation of marihuana in a commercial greenhouse or hoop house must be concealed from public view and must be completely confined and enclosed in a commercial greenhouse or hoop house made of durable translucent material on all sides and top of a hoop house, or glass, glass-like or translucent material on all sides and top of a commercial greenhouse. Hoop houses and commercial greenhouses may not exceed 18 feet maximum height.
- iv. Commercial greenhouses and hoop houses must be located on the parcel of the licensed grower facility/establishment, fully enclosed by security fencing and barriers that block outside visibility of the commercial greenhouse, hoop house, and marihuana plants from the public view to accomplish complete screening from the road right-of-way and adjacent property. No marihuana plants may grow outside the top of the commercial greenhouse or hoop house and must not be visible above the fence and barrier that is visible to public view.

**Fencing must comply with the applicable security measures and fencing requirements under city ordinance and LARA/MRA rules, including but not limited to, locked entries only accessible to authorized persons or emergency personnel. Security fencing must be at a minimum of eight (8) feet in height.**

- v. After the marihuana is harvested, all drying, trimming, curing, or packaging of marihuana must occur inside a permanent building meeting all the requirements of City ordinance, state statute, codes and LARA/MRA rules and regulations.**
- vi. Greenhouses and hoop houses must meet the security requirements and pass the inspections in this ordinance and LARA/MRA rules and any required building and electrical permit pursuant to City ordinance, state statute and LARA/MRA rules.**
- vii. Commercial greenhouses and hoop houses shall meet setback requirements of the City's Zoning Ordinance.**
- viii. Odor Control. A grower or a processor shall install and maintain in operable condition a system which precludes the emission of unreasonable marihuana odor from the property.**

**\*\*\***

**i. All buildings, commercial greenhouses, hoop houses, and structures shall be subject to inspection at any time by the City Fire Department to insure compliance with all applicable statutes, codes and ordinances.**

**\*\*\***

**§ MARIHUANA CULTIVATION.**

Section "MARIHUANA CULTIVATION" is hereby amended to add following words, terms and regulations in Ordinance No. 2019-06:

**(A) Cultivation, generally.**

- (1) Marihuana cultivation shall be conducted consistent with this Ordinance, the MRTMA, including but not limited to MCL 333.27961, and any LARA rules, within an enclosed, secured structure, and as permitted in a commercial greenhouse or hoop house under city ordinances and Special Land Use permit; and**

**\*\*\***

§ SEVERABILITY

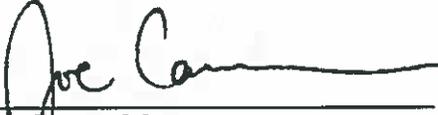
The provisions of this Ordinance are hereby declared to be severable. If any clause, sentence, word, section or provision is hereafter declared void or unenforceable for any reason by a court of competent jurisdiction, it shall not affect the remainder of such ordinance which shall continue in full force and effect. The provisions herein shall be construed as not interfering or conflicting with the statutory regulations for licensing recreational (adult use) marihuana establishments pursuant to Initiated Law 1 of 2018, as amended.

§ EFFECTIVE DATE.

This Ordinance shall become on 30 days after publication and recording as required by law.

This Ordinance shall be published in a newspaper of general circulation in the City of Marshall qualified under state law to publish legal notices. This Ordinance shall be recorded in the Ordinance Book and such recording shall be authenticated by the signatures of the Mayor and the City Clerk.

Adopted and signed this 7<sup>th</sup> day of December, 2020.

  
\_\_\_\_\_  
Joe Caron, Mayor

  
\_\_\_\_\_  
Trisha Nelson, City Clerk

I, Trisha Nelson, being duly sworn as the Clerk for the City of Marshall, hereby certify that the foregoing is a true and complete copy of an ordinance approved by the City Council, City of Marshall, County of Calhoun, State of Michigan, at a regular meeting held on December 7, 2020, and that said meeting was conducted and public notice of said meeting was given pursuant to and in full compliance with the Open Meetings Act, being Act 267, Public Acts of Michigan, 1976, and that the minutes of said meeting were kept and will be or have been made available by said Act.

  
\_\_\_\_\_  
Trisha Nelson, City Clerk

# SPECIAL LAND USE APPLICATION

MPM-C Marshall, page 1

City of Marshall

Fee \$250.00

Section 6.2 of the Marshall City Zoning Ordinance gives citizens the opportunity to file for a Special Land Use Permit when it is required by zoning district.

## Process

- Application, fee, and all required materials are submitted by due date. Once found to be complete, the application is placed on the Planning Commission agenda for acceptance.
- Planning Commission meeting #1:** At this meeting, a public hearing is scheduled for the following month.
- Neighbors within 300 feet of the property seeking special land use are notified of the public hearing.
- Planning Commission meeting #2:** Public hearing is held and discussion takes place. A recommendation on the application is given for City Council.
- City Council meeting:** Item is placed on the agenda, a staff report and Planning Commission comments are offered for review and City Council grants final approval, disapproval, or approval with conditions.

Address of subject property 1717 Pratt Avenue, Marshall, Michigan 49068

Applicant's name MPM-C Marshall, LLC Phone 269-789-5500

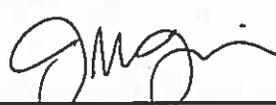
Applicant's address 11300 17 Mile Road City Marshall Zip 49068

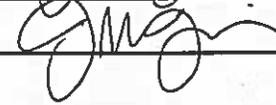
Owner's Name Great Lakes Farms Properties, LP Phone 269-789-5500

Owner's Address 11300 17 Mile Road City Marshall Zip 49068

Explain need for a Special Land Use permit at the subject property (attach more if necessary):

Please see second page of application

Applicant's Signature  Date December 21, 2020

Owner's Signature  Date December 21, 2020

The following items **MUST** be submitted for the application to be complete:

- A plot plan showing property boundaries and legal description
- Existing structures, uses and zoning on subject and adjacent properties
- Location of all abutting streets, easements, and similar public areas
- Proposed compliance plan (if applicable) including hours, signs, parking, etc.

# SPECIAL LAND USE APPLICATION

MPM-C Marshall, page 2

City of Marshall

Fee \$250.00

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**Section 6.2 of the Marshall City Zoning Ordinance** gives citizens the opportunity to file for a Special Land Use Permit when it is required by zoning district.

## Process

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- Planning Commission meeting #1:** At this meeting, a public hearing is scheduled for the following month.
- Neighbors within 300 feet of the property seeking special land use are notified of the public hearing.
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- City Council meeting:** Item is placed on the agenda, a staff report and Planning Commission comments are offered for review and City Council grants final approval, disapproval, or approval with conditions.

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Address of subject property 1717 Pratt Avenue, Marshall, Michigan 49068

Applicant's name MPM-C Marshall, LLC Phone 269-789-5500

Applicant's address 11300 17 Mile Road City Marshall Zip 49068

Owner's Name Great Lakes Farms Properties, LP Phone 269-789-5500

Owner's Address 11300 17 Mile Road City Marshall Zip 49068

Explain need for a Special Land Use permit at the subject property (attach more if necessary):

Pursuant to Marshall Ordinance #2020-14 amending the Marshall Zoning Code a Special Land Use permit is required for Hoop Houses.

Great Lakes Farms Properties, LP is requesting a three (3) year Special Land Use permit to allow construction of a Hoop House facility on the subject property.

This project, when completed, will be a state of the art agricultural facility and bring 40 new direct jobs to Marshall with a projection of up to an additional 100 indirect jobs for the area along with increased property tax revenue and paid utility usage for the City of Marshall.

12/15/17

WE HEREBY CERTIFY THAT THERE ARE NO TAX LIENS ON TITLES HELD BY THE STATE ON THE LANDS DESCRIBED IN THE WITHIN INSTRUMENT AND THAT THERE ARE NO TAX LIENS OR TITLES HELD BY INDIVIDUALS ON SAID LANDS FOR THE FIVE YEARS PRECEDING THE DATE OF THIS INSTRUMENT, AS APPEARS IN MY OFFICE. THIS CERTIFICATE DOES NOT APPLY ON TAXES, IF ANY, NOW IN PROCESS OF COLLECTION



STATE OF MICHIGAN - CALHOUN COUNTY  
RECORDED  
12/15/2017 11:56:13 AM  
ANNE B. NORLANDER - CLERK/REGISTER OF DEEDS

*Brian W. Wensauer*  
BRIAN WENSAUER, CALHOUN COUNTY TREASURER

RECEIPT# 4029, STATION 6  
DEED  
TAX CERTIFICATION  
\$30.00  
\$5.00



LEER 4195 PAGE 1

**WARRANTY DEED**

The City of Marshall Local Development Finance Authority, whose address is 323 West Michigan Avenue, Marshall, MI 49068, conveys and warrants to Great Lakes Farms Properties, LP, a Delaware Limited Partnership, whose address is P.O. Box 794, Birmingham, MI 48012 (Grantee), the real property commonly known as 1717 Pratt Road, in the City of Marshall, Calhoun County, Michigan, as described and shown in the Sketch of Survey and the Property Description shown on Page 2 of the attached Exhibit A, consisting of approximately 26.44 acres, more or less, (the "Property"):

Tax Identification Number: Part of 53-003-002-00

for One Dollar (\$1.00) and other valuable consideration,

subject to any easements and building and use restrictions of record and the lien of taxes not yet due and payable.

Grantor grants to Grantee the right to make all divisions Grantor may have, if any, under Section 108 of the Land Division Act, Act No. 288 of the Public Acts of 1967. Grantor gives no warranty concerning the availability of any divisions, as provided in the Real Estate Sales Agreement of the parties.

This Property may be located within the vicinity of farmland or a farm operation. Generally accepted agricultural and management practices which may generate noise, dust, odors, and other associated conditions may be used and are protected by the Michigan Right to Farm Act.

This deed is exempt from state and county property transfer taxes as the grantor is a municipal entity of the State of Michigan; per MCL 207.526 (i) and MCL 207.505 (h) (i).

The City of Marshall Local Development  
Finance Authority

*[Signature]*  
By: Jason LaForge  
Its: Chairperson

Dated: 12-15-17



LIBER 4195

PAGE 2

STATE OF MICHIGAN )  
CALHOUN COUNTY )

The foregoing instrument was acknowledged before me on December 15, 2017 by Jason LaForge the Chairperson of the City of Marshall Local Development Finance Authority.

/s/ Trisha Nelson

Trisha Nelson  
Notary Public, State of Michigan, County of Calhoun.  
My commission expires 10/06/2020.

TRISHA NELSON  
NOTARY PUBLIC - STATE OF MICHIGAN  
COUNTY OF CALHOUN  
My Commission Expires 10/6/2020  
Acting in the County of Calhoun

323 West Michigan Avenue, Marshall, MI 49068

Send subsequent tax bills to: Grantee, at the address indicated above.

Drafted by (without opinion as to title):

James L. Dyer (P23544)  
Johnson, Rosati, Schultz and Joppich, P.C.  
822 Centennial Road, Suite 270  
Lansing, MI 48917  
(517) 886-3800

SKETCH OF SURVEY  
SHEET 2 OF 2



LEGER 4195

PAGE 3

**DESCRIPTION:**

A PARCEL OF LAND LOCATED IN THE SOUTHEAST 1/4 OF SECTION 1, TOWN 3 SOUTH, RANGE 6 WEST, CITY OF MARSHALL, CALHOUN COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS:

BEGINNING AT THE SOUTH 1/4 CORNER OF SECTION 1, TOWN 3 SOUTH, RANGE 6 WEST, CITY OF MARSHALL, CALHOUN COUNTY, MICHIGAN; THENCE SOUTH 89°27'27" EAST ALONG THE SOUTH LINE OF SAID SECTION, A DISTANCE OF 742.66 FEET; THENCE NORTH 00°07'05" WEST, PARALLEL WITH THE NORTH AND SOUTH 1/4 LINE OF SAID SECTION 1, A DISTANCE OF 1525.00 FEET; THENCE NORTH 89°27'27" WEST, PARALLEL WITH SAID SOUTH LINE OF SAID SECTION, A DISTANCE OF 835.02 FEET TO THE WESTERLY RIGHT-OF-WAY OF PRATT AVENUE; THENCE ALONG SAID RIGHT-OF-WAY 30.72 FEET ALONG THE ARC OF A CURVE TO LEFT WHOSE RADIUS IS 57.00 FEET AND WHOSE CHORD BEARS SOUTH 04°33'17" EAST, 30.35 FEET; THENCE CONTINUING ALONG SAID RIGHT-OF-WAY, 72.03 FEET ALONG THE ARC OF A CURVE TO THE RIGHT WHOSE RADIUS IS 98.00 FEET AND WHOSE CHORD BEARS SOUTH 01°00'44" WEST, 70.42 FEET; THENCE CONTINUING ALONG SAID RIGHT-OF-WAY, 74.29 FEET ALONG THE ARC OF A CURVE TO THE LEFT WHOSE RADIUS IS 57.00 FEET AND WHOSE CHORD BEARS SOUTH 15°16'09" EAST, 69.14 FEET; THENCE SOUTH 37°23'39" WEST ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 60.00 FEET; THENCE NORTH 89°52'55" EAST, 109.30 FEET TO THE NORTH AND SOUTH 1/4 LINE OF SAID SECTION 1; THENCE SOUTH 00°07'05" EAST ALONG SAID 1/4 LINE, A DISTANCE OF 1311.31 FEET TO THE PLACE OF BEGINNING. CONTAINING 26.44 ACRES OF LAND, MORE OR LESS, AND BEING SUBJECT TO ANY EASEMENTS, RESTRICTIONS, OR CONDITIONS OF RECORD.

Client: MARSHALL AREA ECONOMIC DEVELOPMENT ALLIANCE

Drawn by: AJP  
Surveyed by: MPP  
Scale: 1" = 200'

Job No.: 41101  
Date: 05/10/2017  
Revised:

MICHAEL P. PRATT, PS #43067

*This survey is made on the basis of the legal descriptions furnished to CLS. No investigation has been made for easements, encumbrances, ownership title evidence, or any other facts that may be disclosed by an accurate and current title search. Declaration is made to the original purchaser of this survey, it is not transferable to additional institutions or subsequent owners. This drawing is valid only if it contains the surveyor's original signature and embossed seal.*



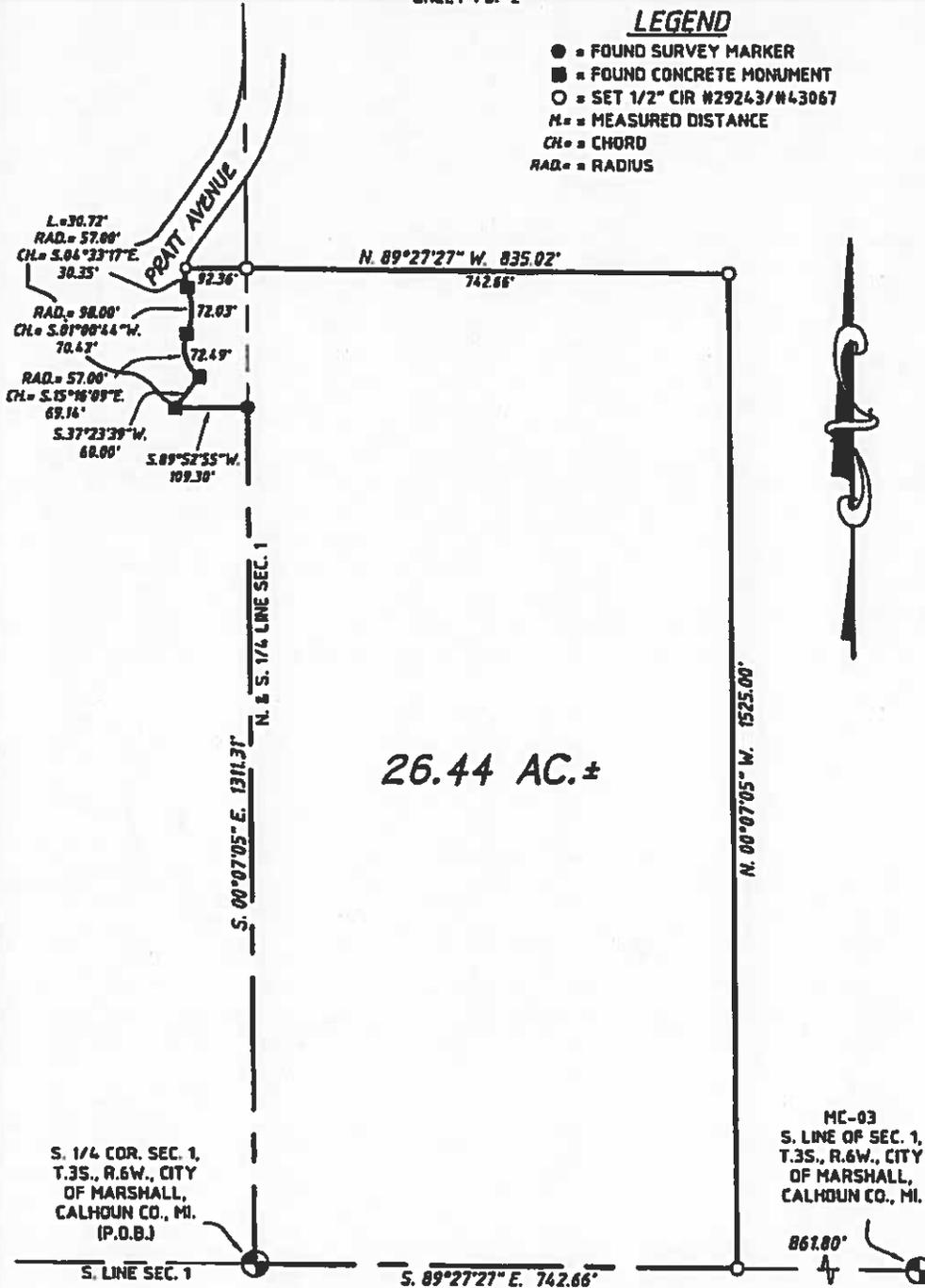
CRANE LAND SURVEYING, P.C.  
14250 BEADLE LAKE ROAD  
SUITE 130  
BATTLE CREEK, MICHIGAN 49014  
ph: (269) 963-7077 • fax: (269) 963-7008  
www.cls-bc.com

File Name: 41101

SKETCH OF SURVEY  
SHEET 1 OF 2

**LEGEND**

- = FOUND SURVEY MARKER
- = FOUND CONCRETE MONUMENT
- = SET 1/2" CIR #29243/#43067
- M = MEASURED DISTANCE
- CH = CHORD
- RAD = RADIUS



26.44 AC.±

S. 1/4 COR. SEC. 1,  
T.3S., R.6W., CITY  
OF MARSHALL,  
CALHOUN CO., MI.  
(P.O.B.)

MC-03  
S. LINE OF SEC. 1,  
T.3S., R.6W., CITY  
OF MARSHALL,  
CALHOUN CO., MI.

SEE SHEET 2 OF 2 FOR  
LEGAL DESCRIPTION

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www.cla-ba.com

File Name: 41101

PRICE 4

LIBER 4195



## **MPM Narrative for proposed Hoop House project**

**1717 Pratt Avenue in Marshall, Michigan.**

**This project will consist of the Cultivation, Harvest and drying of Cannabis for Medical and Adult Use extraction during the months of May through October in 2021, 2022 and 2023. On the site will be located 28 temporary hoop house structures and one drying facility designed to Michigan Bureau of Fire Safety (BFS), Michigan Marihuana Regulatory Agency (MRA) and City of Marshall Building regulation. Each structure will be less than 12,000 square feet and the facility will be secured with 8' perimeter fencing that will be fully screened and monitored by physical security and remote photo beam alarm technology 24 hours a day 7 days of the week. Dried product is currently scheduled to be transported to the MPM Facility located at 11300 17 Mile Road by third party Secure Transport for processing after harvest and drying. The normal operation of the facility will take place in the aforementioned months Monday through Friday from 7am until 7pm with minimal staffing that may be needed nights and weekends. There will be no more than 40 staff on site at any given time with the majority of the operation having roughly 20 staff on site per shift.**

### **SLU worksheet answers**

#### **A: CITY MASTER PLAN**

The proposed use fits within the Zoning Ordinance as a Special Land Use and fits with the City's 2015 Master Plan as referenced on Page 44.

*Many of these suggestions have potential economic merit, though in general, industrial uses offer the most return on the community's investment. Marshall may also wish to consider the agricultural character of rural Calhoun County and seek to develop industrial uses that interface with local food production. Fill it with industry – we need the tax base!*

#### **B: NEED FOR USE**

The proposed facility is permitted within the City Zoning and would bring, at a minimum, an additional 40 jobs to the area with an anticipated increase in City revenue through utilities and property taxes. As it would be the first new development in a very underdeveloped area of the Industrial Park this project may also spur additional investment in the area. The three year operation of the facility would also help fund and accelerate the expansion of MPM's facility on 17 Mile Road which would add additional jobs and bring a greater increase to City revenue through utilities and property taxes.

#### **C: COMPATABLE USE**

The facility is designed and landscaped to fit with the character of the surrounding areas and may, as previously mentioned, stimulate development in the adjacent areas that are currently undeveloped.

#### **D: DESIGN, CONSTRUCTION AND OPERATION**

The use is designed to be completely constructed, operated and maintained to be compatible with the current adjacent land uses and any remaining structure left following the expiration of the SLU shall be fully compliant with the Industrial Zoning and LDFA requirements of the area.

#### **E: NATURAL ENVIRONMENT**

The facility is designed to work with the existing wetlands and is landscaped to be well compatible with the natural environment as well as adding approximately 175 new plantings to the site.

#### **F: ADEQUATE SERVICES**

The proposed use is more than adequately served by essential public facilities and services and has been well provided with infrastructure by the City and the LDFA to support its development

#### **G: DETRIMENTAL CONDITIONS**

This proposed facility is located within an underdeveloped area of the industrial park and will not create excessive traffic, will have very minimal noise, zero smoke, very minimal light pollution and will have a state of the art odor control plan as referenced separately.

# WORKSHEET FOR SPECIAL LAND USE

*Special land uses shall conform to all applicable requirements of this subchapter and chapter. Approval of a special condition use shall be based upon the determination that the proposed use complies with all applicable requirements of this chapter, and all of the following standards as deemed applicable to the use by the Planning Commission:*

**(A) The proposed use shall be in accordance with the city master plan and the intent and purpose of this subchapter.**

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**(B) A documented and immediate need exists for the proposed use within the community.**

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**(C) The use is compatible with adjacent uses and the existing or intended character of the surrounding neighborhood, and will not have an adverse impact upon or interfere with the development, use or enjoyment of adjacent properties, or the orderly development of the neighborhood.**

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**(D) The proposed use shall be designed, constructed, operated and maintained so as to be compatible with the use of adjacent lands.**

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**(E) The proposed use shall be compatible with the natural environment.**

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**(F) The proposed use shall be adequately served by essential public facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewage facilities and schools.**

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**(G) The proposed use shall not involve activities, processes, materials and equipment or conditions of operation that will be detrimental to public health, safety and welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.**

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# SITE PLAN DRAWINGS FOR MPM Pratt Road Cultivation Facility

PRATT ROAD  
MARSHALL, MICHIGAN

**LEGAL DESCRIPTION (AS PROVIDED)**

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**BOUNDARY NOTE**

THE BOUNDARY WAS NOT PERFORMED DURING THIS SURVEY.

**BEARING REFERENCE**

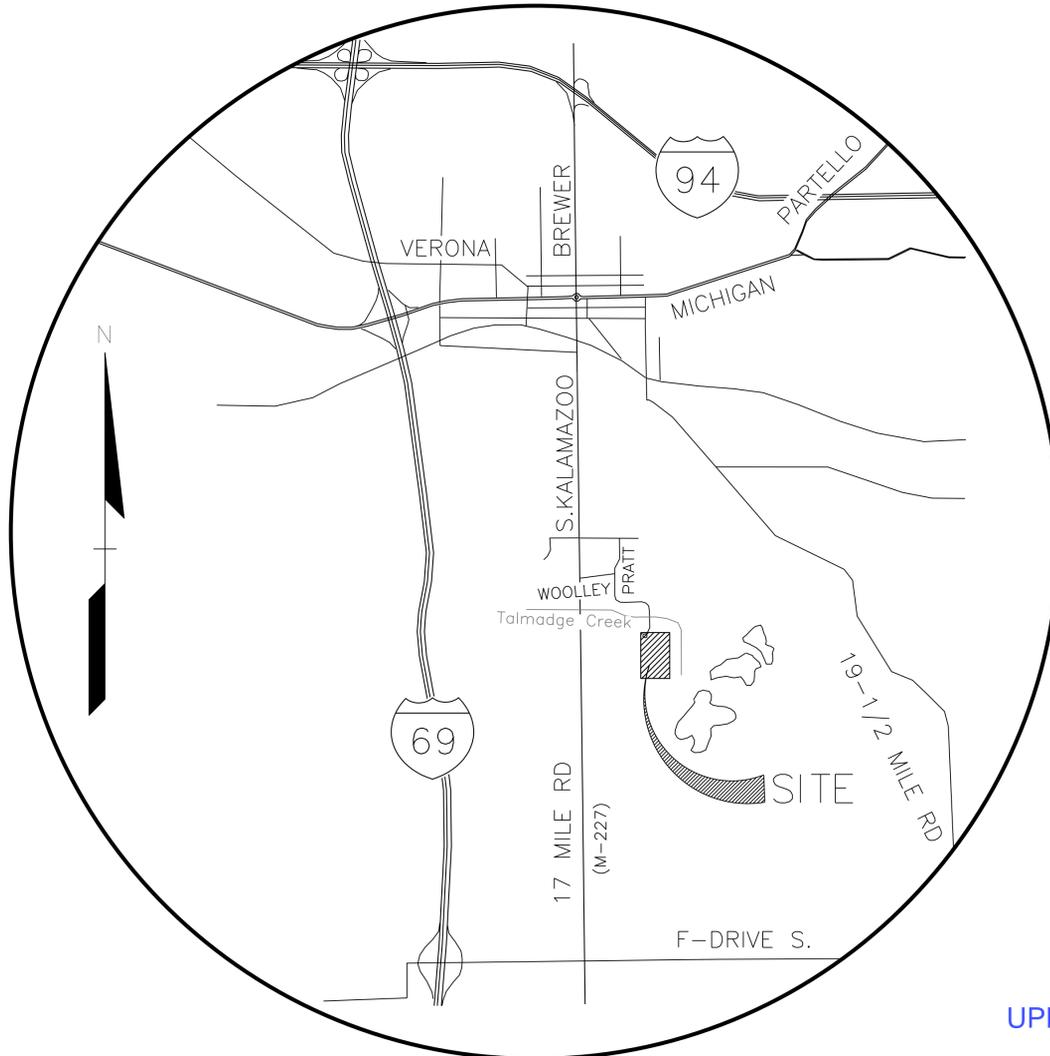
Bearings are based on Survey performed by: Crane Land Surveying, P.C., Job No.: 41101, Dated: 06/01/2017.

**BENCHMARKS**

DATUM: NAVD83  
REFERENCE CORRS STATION USED TO ESTABLISH BASE CONTROL ON SITE: RTCM0015

BM A:  
ARROW ON HYDRANT, 335± NORTH OF SUBJECT'S NORTH PROPERTY LINE & 34± EAST OF PRATT AVENUE.  
ELEV = 929.49

BM B:  
ARROW ON HYDRANT, 187± WEST OF CUL-DE-SAC OF PRATT AVENUE.  
ELEV = 935.39



**LOCATION MAP**  
SCALE: 1"=5000'

**INDEX OF DRAWINGS:**

**PROPOSED SITE PLAN**

- \* C-0.0 COVER SHEET
- C-1.0 OVERALL SURVEY
- C-1.1 TOPOGRAPHIC SURVEY NORTHEAST
- C-1.2 TOPOGRAPHIC SURVEY SOUTHEAST
- \* C-3.0 OVERALL SITE PLAN
- \* C-3.1 SITE PLAN NORTHEAST
- \* C-3.2 SITE PLAN SOUTHEAST
- \* C-4.1 GRADING PLAN NORTHEAST
- \* C-4.2 GRADING PLAN SOUTHEAST
- C-5.1 UTILITY PLAN NORTHEAST
- C-5.2 UTILITY PLAN SOUTHEAST
- C-6.0 NOTES + DETAILS
- C-6.1 DETAILS
- C-7.0 DRAINAGE CALCULATIONS
- C-7.1 DRAINAGE PLAN NORTHEAST
- C-7.2 DRAINAGE PLAN SOUTHEAST
  
- \* LS-1 OVERALL LANDSCAPE PLAN
- \* LS-2 LANDSCAPE PLAN
- \* LS-3 LANDSCAPE PLAN
  
- \* A1 FIRST FLOOR NEW WORK PLAN
- \* A2 EXTERIOR ELEVATIONS
- A3 EXTERIOR RENDERING
- A4 EXTERIOR RENDERING
- A5 EXTERIOR RENDERING
- A6 EXTERIOR RENDERING
- A7 EXTERIOR RENDERING

\* DENOTES REVISED SHEETS INCLUDED IN THE CURRENT SUBMISSION PACKAGE

UPDATED PLANS....received February 2, 2021

**ARCHITECT:**

INTEGRATED DESIGN SOLUTIONS  
1441 WEST LONG LAKE RD, SUITE 200  
TROY, MI 48098  
PHONE: (248) 823-2100  
CONTACT: BRANDON SUNDBERG, AIA

**ENGINEER:**

STOREY ENGINEERING GROUP, LLC  
48264 MANCHESTER  
MACOMB, MI 48044  
PHONE: (586) 216-1043  
CONTACT: TIM S. STOREY, PE

**DEVELOPER:**

MPM COMPANIES, LP - COMMON CITIZEN  
11300 17 MILWE ROAD  
MARSHALL, MI 49068  
PHONE: (248) 804-8400  
CONTACT: JOE JARVIS

NO.	DATE	BY	DESCRIPTION
1	12-16-2020	TSS	ISSUED PER CITY COMMENTS
2	2-2-21	TSS	REVISED PER CITY COMMENTS
3	2-2-21	TSS	REVISED PER CITY COMMENTS



**CAUTION!**  
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CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION. CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARBORER FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

**3 FULL WORKING DAYS BEFORE YOU DIG CALL**

**811**  
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MACOMB, MI 48044  
(586) 216-1043  
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MPM COMPANIES, LP / COMMON CITIZEN	11300 17 MILE ROAD, MARSHALL, MI 49068	DES.	TSS	DN	TSS	SUR.	AMP	P.M.	TSS
	COVER SHEET MPM Pratt Road Site	11300 17 MILE ROAD MARSHALL, MI 49068	DES.	TSS	DN	TSS	SUR.	AMP	P.M.
ORIGINAL ISSUE DATE: 12/16/2020									
Project No. 2017-013.M3									
DRAWING NUMBER: <b>C-0.0</b>									

REVISIONS

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**BENCHMARKS**

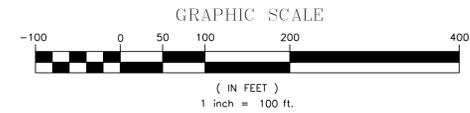
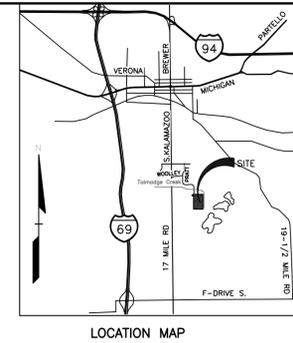
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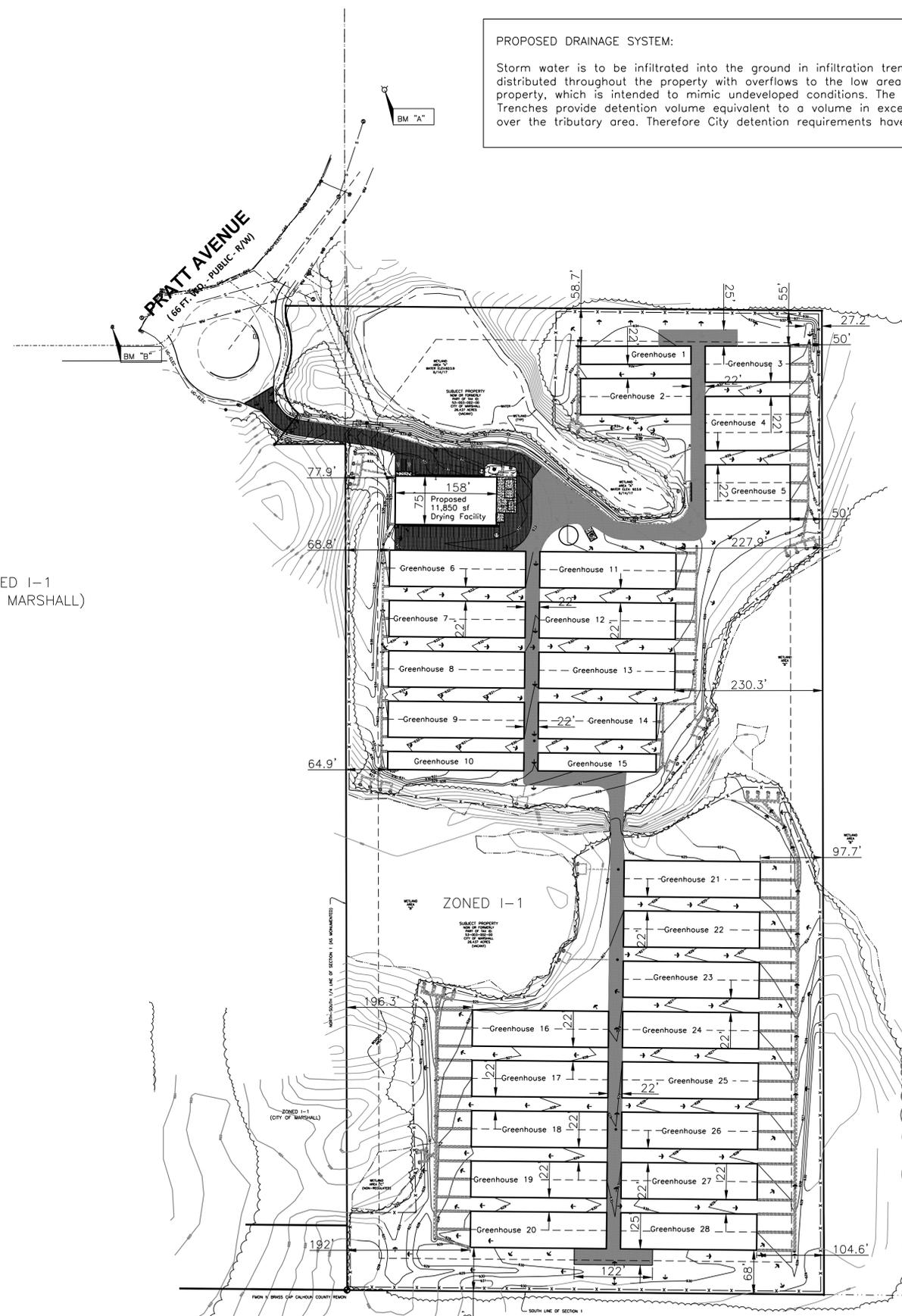
**PROPOSED DRAINAGE SYSTEM:**

Storm water is to be infiltrated into the ground in infiltration trenches/drain tile distributed throughout the property with overflows to the low areas of the property, which is intended to mimic undeveloped conditions. The infiltration Trenches provide detention volume equivalent to a volume in excess of 1" depth over the tributary area. Therefore City detention requirements have been met.



ZONED I-1  
(CITY OF MARSHALL)

ZONED I-1  
(CITY OF MARSHALL)



**SITE INFORMATION:**

- The zoning classification of the property is I-1 (RESEARCH & MANUFACTURING). The proposed use is a Greenhouse with on-site drying. Processing & packaging will be accommodated at the owners adjacent 17 Mile Road facility. The use is allowable with obtaining a Special Land Use.
- The facility does not operate after dark. Therefore the only lighting proposed will be building-mounted security lighting and will not exceed maximum City lighting levels. Exterior lighting shall be shielded down and shall be directed away from off-site areas (1.0 foot candle maximum at property line).
- Any signs shall meet the requirements of the zoning Ordinance for the City of Marshall. Separate permits are required for sign installation and shall be applied for separately.
- All roof and ground mounted mechanical equipment shall be screened from adjacent roads and properties.
- The building shall be designed & constructed in accordance with all applicable fire codes. REFER TO ARCHITECTURAL FOR FIRE SAFETY/CODE REQUIREMENTS. A KNOX BOX WILL BE PROVIDED AT THE GATE FOR USE BY THE FIRE DEPARTMENT IN CASE OF EMERGENCY TO ACCESS THE SITE AND BUILDING.
- Fire lanes shall be designated by the Fire Code Official, and shall be conspicuously posted on both sides of the fire lane, with fire lane signs spaced not more than 100 feet apart, and in conformance with the MMUTCD.
- Hours of operation will be during daylight hours only, 6am to 8pm, 7 days a week during the summer growing season only. The facility will be closed during the winter months (November through March). For security reasons there will be no access allowed by the general public. Only employees, delivery and security personnel will be allowed on the property.
- THERE WILL BE NO COMPOSTING ON SITE. COMPOSTABLE MATERIALS WILL BE PICKED UP BY A WASTE RECYCLING COMPANY.
- Maximum allowable Building height is 45', 18' for Greenhouses. Maximum proposed Building and Greenhouse height is 18'.
- PROPOSED BUILDING AREA = 11,850 SF. PROPOSED GREENHOUSE AREA = 303,848 SF.
- GROSS PARCEL AREA = 26.44 AC = 1,151,582 SF
- Proposed % lot coverage by all buildings is 12,375 / 1,151,582 = 1.10%
- All pedestrian walkways and required egress doors shall comply with Michigan Barrier Free Design criteria.
- Parking Required (per City of Marshall Ordinance) = 5 plus 1 space/employee in largest shift = 5 + 20 Employees = 25 (25 spaces required).
- Parking Provided:  
29 - 9' x 20' Spaces  
2 - 8' x 20' Barrier Free Spaces  
31 Total Parking Spaces provided
- Max Number of Employees in any one shift = 20
- Storm water is to be infiltrated into the ground in infiltration trenches/drain tile distributed throughout the property with overflows to the low areas of the property, which is intended to mimic undeveloped conditions.
- Required setbacks (per City of Marshall Ordinance):  
Front Building Setback = 50 feet  
Side Yard Building Setback = 20 feet (50 feet total of two)  
Rear Building Setback = 25 feet
- Locations of all ground signs are indicated on sheet C-3.1 (none are proposed).
- Open burning is not permitted including the burning of trash, debris or land clearing materials.
- SITE SHALL BE PROVIDED WITH SECURITY CAMERAS MONITORED 24 HOURS A DAY CONTINUOUSLY.
- TEMPORARY ELECTRICAL SERVICE DROP DURING CONSTRUCTION WILL BE NEEDED.

NO.	DATE	BY	REVISIONS
1	12/16/2020	TSS	ISSUED PER CITY COMMENTS
2	2/1/21	TSS	REVISED PER CITY COMMENTS
3	2/2/21	TSS	REVISED PER CITY COMMENTS
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**MPM COMPANIES, LP / COMMON CITIZEN**  
11300 17 MILE ROAD  
MARSHALL, MI 48868

**OVERALL SITE PLAN**  
MPM Pratt Road Site  
11300 17 MILE ROAD  
CITY OF MARSHALL, CALHOUN COUNTY, MI

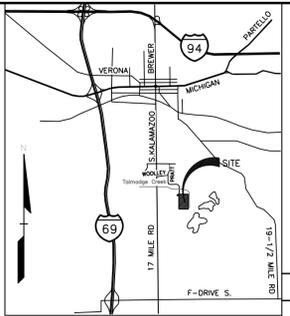
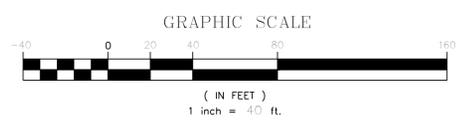
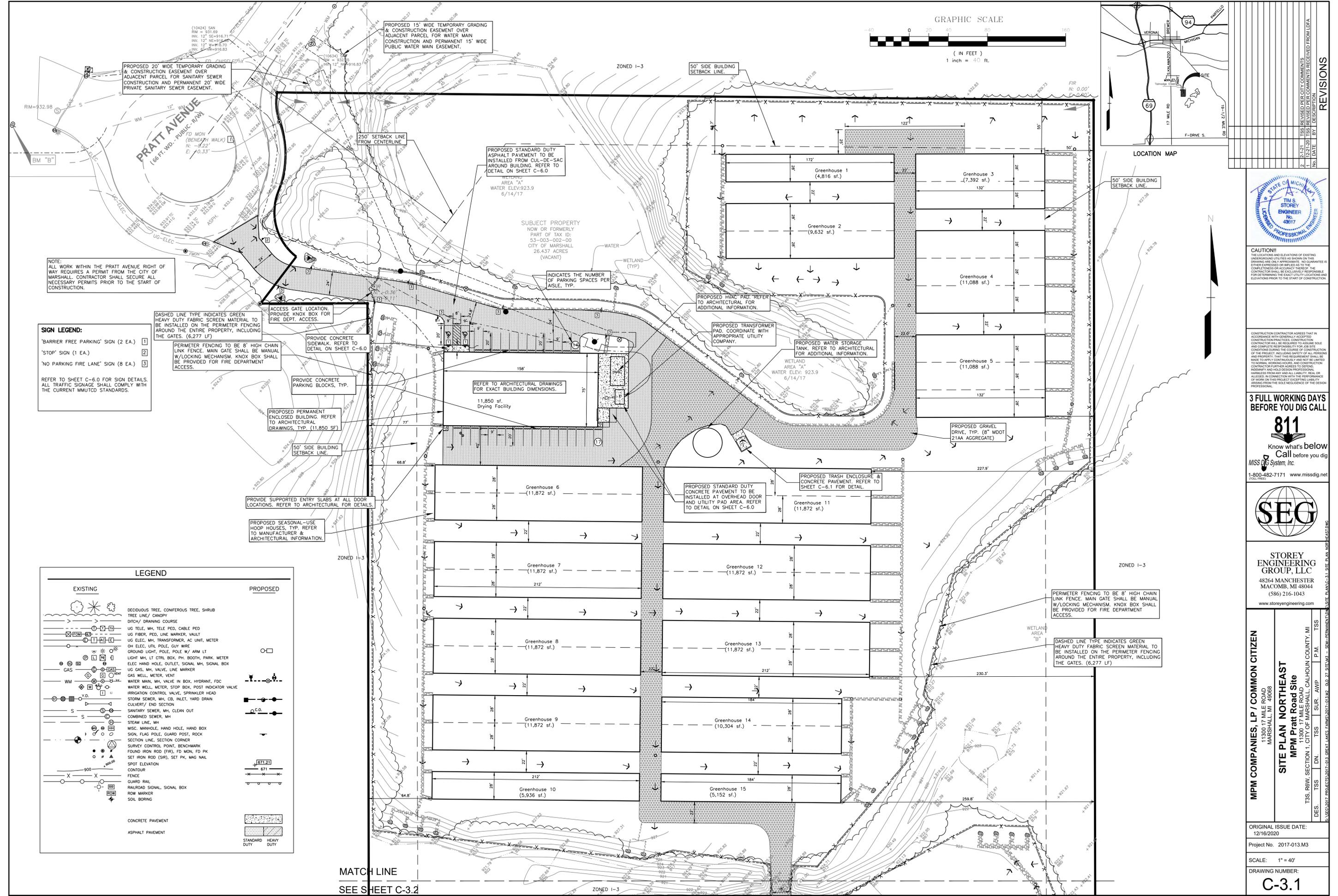
DES. TSS DN. TSS SUR. AMP. P.M. TSS

ORIGINAL ISSUE DATE:  
12/16/2020

Project No. 2017-013.M3

SCALE: 1" = 100'

DRAWING NUMBER:  
**C-3.0**



NO.	DATE	BY	DESCRIPTION
1	12/16/2020	TSS	ISSUED PER CITY COMMENTS
2	2/2/21	TSS	REVISED PER CITY COMMENTS
3	2/2/21	TSS	REVISED PER CITY COMMENTS



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CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION AND PROPERTY THAT THIS REQUIREMENT SHALL BE MAINTAINED THROUGHOUT THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND HOLD DESIGN PROFESSIONAL LIABILITY INSURANCE AND HOLD DESIGN PROFESSIONAL LIABILITY INSURANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND HOLD DESIGN PROFESSIONAL LIABILITY INSURANCE.

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**MPM COMPANIES, LP / COMMON CITIZEN**  
 11300 17 MILE ROAD  
 MARSHALL, MI 48868  
**SITE PLAN NORTHEAST**  
**MPM Pratt Road Site**  
 11300 17 MILE ROAD  
 SECTION 1, CITY OF MARSHALL, CALHOUN COUNTY, MI  
 TSS DN TSS SUR AMP P.M.  
 TSS  
 ORIGINAL ISSUE DATE: 12/16/2020  
 Project No. 2017-013.M3  
 SCALE: 1" = 40'  
 DRAWING NUMBER:  
**C-3.1**

**NOTE:**  
 ALL WORK WITHIN THE PRATT AVENUE RIGHT OF WAY REQUIRES A PERMIT FROM THE CITY OF MARSHALL. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS PRIOR TO THE START OF CONSTRUCTION.

**SIGN LEGEND:**  
 'BARRIER FREE PARKING' SIGN (2 EA.) 1  
 'STOP' SIGN (1 EA.) 2  
 'NO PARKING FIRE LANE' SIGN (8 EA.) 3  
 REFER TO SHEET C-6.0 FOR SIGN DETAILS. ALL TRAFFIC SIGNAGE SHALL COMPLY WITH THE CURRENT MUTCD STANDARDS.

DASHED LINE TYPE INDICATES GREEN HEAVY DUTY FABRIC SCREEN MATERIAL TO BE INSTALLED ON THE PERIMETER FENCING AROUND THE ENTIRE PROPERTY, INCLUDING THE GATES. (6,277 LF)  
 PERIMETER FENCING TO BE 8" HIGH CHAIN LINK FENCE. MAIN GATE SHALL BE MANUAL W/LOCKING MECHANISM. KNOX BOX SHALL BE PROVIDED FOR FIRE DEPARTMENT ACCESS.  
 PROVIDE CONCRETE SIDEWALK. REFER TO DETAIL ON SHEET C-6.0.  
 PROVIDE CONCRETE PARKING BLOCKS, TYP.

ACCESS GATE LOCATION. PROVIDE KNOX BOX FOR FIRE DEPT. ACCESS.  
 PROVIDE SUPPORTED ENTRY SLABS AT ALL DOOR LOCATIONS. REFER TO ARCHITECTURAL FOR DETAILS.  
 PROPOSED SEASONAL-USE HOOP HOUSES, TYP. REFER TO MANUFACTURER & ARCHITECTURAL INFORMATION.

PROPOSED PERMANENT ENCLOSED BUILDING. REFER TO ARCHITECTURAL DRAWINGS, TYP. (11,850 SF)  
 50' SIDE BUILDING SETBACK LINE.  
 REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.  
 11,850 sf. Drying Facility

PROPOSED STANDARD DUTY ASPHALT PAVEMENT TO BE INSTALLED FROM CUL-DE-SAC AROUND BUILDING. REFER TO DETAIL ON SHEET C-6.0  
 WETLAND AREA "A"  
 WATER ELEV: 923.9  
 6/14/17  
 SUBJECT PROPERTY  
 NOW OR FORMERLY  
 PART OF TAX ID:  
 53-003-002-00  
 CITY OF MARSHALL  
 26.437 ACRES  
 (VACANT)  
 WETLAND (TYP)  
 INDICATES THE NUMBER OF PARKING SPACES PER AISLE, TYP.

PROPOSED HVAC PAD. REFER TO ARCHITECTURAL FOR ADDITIONAL INFORMATION.  
 PROPOSED TRANSFORMER PAD. COORDINATE WITH APPROPRIATE UTILITY COMPANY.  
 PROPOSED WATER STORAGE TANK. REFER TO ARCHITECTURAL FOR ADDITIONAL INFORMATION.  
 WETLAND AREA "A"  
 WATER ELEV: 923.9  
 6/14/17

PROPOSED GRAVEL DRIVE, TYP. (8" MDOT 21AA AGGREGATE)  
 PROPOSED TRASH ENCLOSURE & CONCRETE PAVEMENT. REFER TO SHEET C-6.1 FOR DETAIL.  
 PROPOSED STANDARD DUTY CONCRETE PAVEMENT TO BE INSTALLED AT OVERHEAD DOOR AND UTILITY PAD AREA. REFER TO DETAIL ON SHEET C-6.0

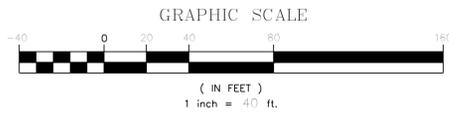
Greenhouse 1 (4,816 sf.)  
 Greenhouse 2 (9,632 sf.)  
 Greenhouse 3 (7,392 sf.)  
 Greenhouse 4 (11,088 sf.)  
 Greenhouse 5 (11,088 sf.)

Greenhouse 6 (11,872 sf.)  
 Greenhouse 7 (11,872 sf.)  
 Greenhouse 8 (11,872 sf.)  
 Greenhouse 9 (11,872 sf.)  
 Greenhouse 10 (5,936 sf.)

Greenhouse 11 (11,872 sf.)  
 Greenhouse 12 (11,872 sf.)  
 Greenhouse 13 (11,872 sf.)  
 Greenhouse 14 (10,304 sf.)  
 Greenhouse 15 (5,152 sf.)

EXISTING	PROPOSED

MATCH LINE  
 SEE SHEET C-3.2



SEE SHEET C-3.1  
MATCH LINE

NORTH-SOUTH 1/4 LINE OF SECTION 1 (AS MONUMENTED)

50' SIDE BUILDING SETBACK LINE.

ZONED I-3  
ZONED I-1 (CITY OF MARSHALL)

WETLAND AREA "C" (NON-REGULATED)

PERIMETER FENCING TO BE 8' HIGH CHAIN LINK FENCE.

FMON N BRASS CAP CALHOUN COUNTY REMON

SUBJECT PROPERTY  
NOW OR FORMERLY  
PART OF TAX ID:  
53-003-002-00  
CITY OF MARSHALL  
28.437 ACRES  
(VACANT)

ZONED I-3

SOUTH LINE OF SECTION 1

ZONED I-3

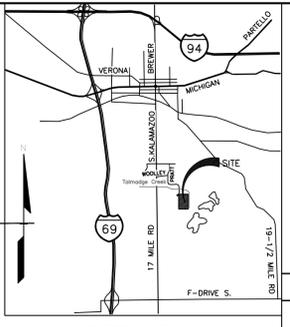
PROPOSED GRAVEL DRIVE, TYP. (8" MDOT 21AA AGGREGATE)

50' SIDE BUILDING SETBACK LINE.

DASHED LINE TYPE INDICATES GREEN HEAVY DUTY FABRIC SCREEN MATERIAL TO BE INSTALLED ON THE PERIMETER FENCING AROUND THE ENTIRE PROPERTY, INCLUDING THE GATES. (6,277 LF)

50' SIDE BUILDING SETBACK LINE.

PERIMETER FENCING TO BE 8' HIGH CHAIN LINK FENCE.



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11300 17 MILE ROAD MARSHALL, MI 48868		P.M.
<b>SITE PLAN SOUTHEAST</b>		
<b>MPM Pratt Road Site</b>		
11300 17 MILE ROAD CITY OF MARSHALL, CALHOUN COUNTY, MI		
DES.	TSS	TSS
DN.	TSS	TSS
SUR.	AMP	P.M.

ORIGINAL ISSUE DATE:  
12/16/2020

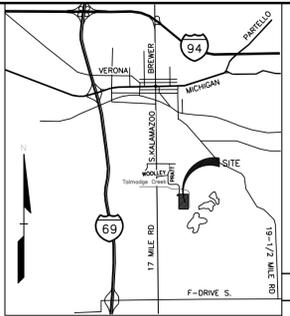
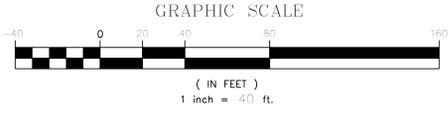
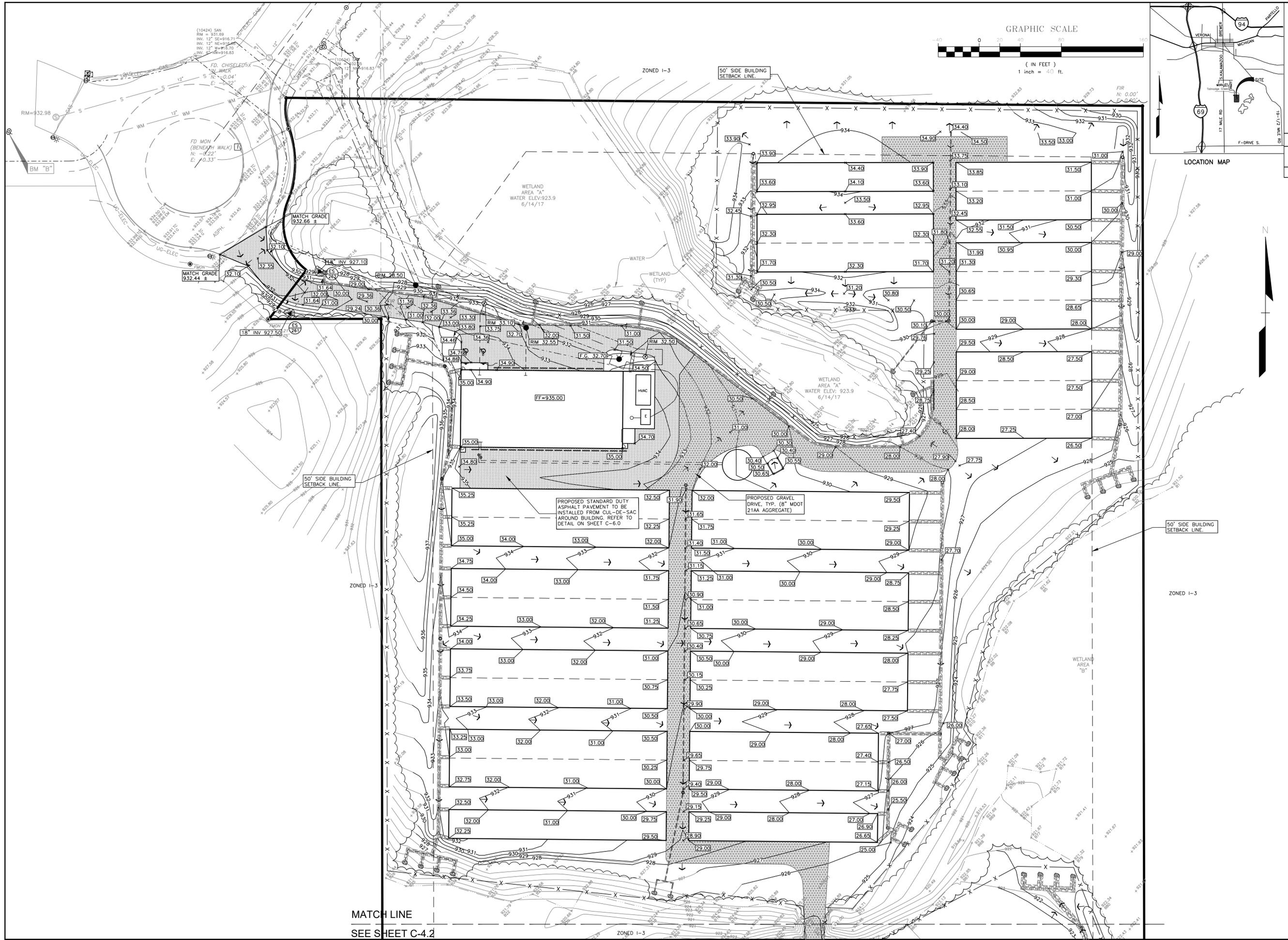
Project No. 2017-013.M3

SCALE: 1" = 40'

DRAWING NUMBER:  
**C-3.2**

NO.	DATE	BY	DESCRIPTION
1	12/16/2020	TSS	TSS REVISED PER CITY COMMENTS
2	2/2/21	TSS	TSS REVISED PER CITY COMMENTS
3	2/2/21	TSS	TSS REVISED PER CITY COMMENTS

REVISIONS



NO.	DATE	BY	REVISIONS
1			TSS REVISED PER CITY COMMENTS
2	2-2-21		TSS REVISED PER CITY COMMENTS
3	7-27-20		TSS REVISED PER CITY COMMENTS



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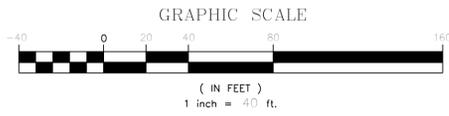


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DES.	TSS	DN.	TSS	SUR.	AMP	P.M.	TSS
<b>MPM COMPANIES, LP / COMMON CITIZEN</b> 11300 17 MILE ROAD MARSHALL, MI 48868 <b>GRADING PLAN NORTHEAST</b> <b>MPM Pratt Road Site</b> 11300 17 MILE ROAD CITY OF MARSHALL, CALHOUN COUNTY, MI TSS DN. TSS SUR. AMP P.M. TSS 8/15/2020 PROJECT: 2017-013.M3 - 50' SIDE BUILDING SETBACK LINE PLAN C-4.1 GRADING PLAN NORTHEAST							

ORIGINAL ISSUE DATE:  
 12/16/2020  
 Project No. 2017-013.M3  
 SCALE: 1" = 40'  
 DRAWING NUMBER:  
**C-4.1**

MATCH LINE  
 SEE SHEET C-4.2



SEE SHEET C-4.1  
MATCH LINE

NORTH-SOUTH 1/4 LINE OF SECTION 1 (AS MONUMENTED)

50' SIDE BUILDING SETBACK LINE

ZONED I-3

WETLAND AREA (C) (NON-REGULATED)

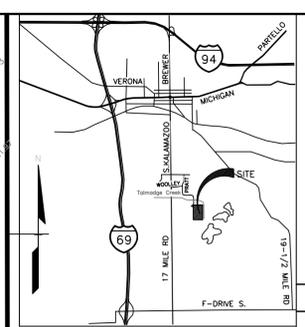
FMON N BRASS CAP CALHOUN COUNTY REMON

SOUTH LINE OF SECTION 1

ZONED I-3

50' SIDE BUILDING SETBACK LINE

LOCATION MAP



NO.	DATE	BY	DESCRIPTION
1			TSS REVISED PER CITY COMMENTS
2	2-1-20		TSS REVISED PER CITY COMMENTS



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<b>GRADING PLAN SOUTHEAST</b>	
<b>MPM Pratt Road Site</b>	
TSS, R8W, SECTION 1, CITY OF MARSHALL, CALHOUN COUNTY, MI	
TSS	
DES. TSS	
DN. TSS	
SUR. AMP	
DATE	

ORIGINAL ISSUE DATE:  
12/16/2020  
Project No. 2017-013.M3  
SCALE: 1" = 40'  
DRAWING NUMBER:  
**C-4.2**

REVISIONS

# landscape plan for: MPM Pratt Road Cultivation Facility City of Marshall, Michigan

**note:**

unless noted otherwise, numerical value on landscape quantities specified on plan take precedence over graphic representation.



**scale:** 0' 50' 100' 200' 300'  
 1" = 100'-0"

**general landscape notes:**

- LANDSCAPE CONTRACTOR SHALL VISIT THE SITE, INSPECT EXISTING CONDITIONS, REVIEW PROPOSED PLANTINGS AND RELATED WORK. CONTACT THE OWNER AND/OR LANDSCAPE ARCHITECT WITH ANY CONCERNS OR DISCREPANCY BETWEEN THE PLAN, PLANT MATERIAL LIST, AND/OR SITE CONDITIONS.
- PRIOR TO BEGINNING OF CONSTRUCTION ON ANY WORK, CONTRACTORS SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES, GAS, ELECTRIC, TELEPHONE, CABLE TO BE LOCATED BY CONTACTING MISS DIG 1-800-482-1111. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. COORDINATE ALL RELATED WORK ACTIVITIES WITH OTHER TRADES AND REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER PRIOR TO COMMENCING.
- NUMERICAL VALUE ON THE LANDSCAPE QUANTITIES SPECIFIED ON THE PLAN TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION. VERIFY ANY CONCERN/DISCREPANCY WITH LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION AND PLANT MATERIAL LOCATION TO BE ADJUSTED ON-SITE IF NECESSARY.
- ALL SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED BY CITY OF MARSHALL AND LANDSCAPE ARCHITECT.
- ALL LARGE TREES AND EVERGREENS TO BE STAKED, GUYED AND WRAPPED AS DETAILED, SHOWN ON PLAN.
- PLANT BEDS TO BE DRESSED WITH MIN. 4" OF FINELY DOUBLE SHREDDED HARDWOOD BARK MULCH.
- DIG SHRUB PITS 1' LARGER THAN SHRUB ROOT BALLS AND TREE PITS 2' LARGER THAN ROOT BALL. BACK FILL WITH ONE PART TOP SOIL AND ONE PART SOIL FROM EXCAVATED PLANTING HOLE.
- NATURAL COLOR FINELY SHREDDED HARDWOOD BARK MULCH REQUIRED FOR ALL PLANTINGS.
- REMOVE ALL TWINE WIRE AND BURLAP FROM TREE AND SHRUB EARTH BALLS, AND FROM TREE TRUNKS. 4" THICK BARK MULCH FOR TREES IN 4" DIA. CIRCLE WITH 3" PULLED AWAY FROM TRUNK. 4" THICK BARK MULCH FOR SHRUBS AND 4" THICK BARK MULCH FOR PERENNIALS.
- PLANT MATERIAL QUALITY & INSTALLATION SHALL BE IN ACCORDANCE WITH THE CURRENT AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS.
- PROVIDE PEAT SOD FOR ALL NEW AND DISTURBED LAWN AREAS UNLESS NOTED OTHERWISE.
- ALL PLANTING AREAS TO BE PREPARED WITH APPROPRIATE SOIL MIXTURES AND FERTILIZER BEFORE PLANT INSTALLATION.
- PLANT TREES AND SHRUBS GENERALLY NO CLOSER THAN THE FOLLOWING DISTANCES FROM SIDEWALKS, CURBS AND PARKING STALLS:
  - SHADE TREES 5 FT.
  - ORNAMENTAL AND EVERGREEN TREES (CRAB, PINE, SPRUCE, ETC.) 10 FT.
  - SHRUBS THAT ARE LESS THAN 1 FOOT TALL AND WIDE AT MATURITY 2 FT.
- NO TREES OR EVERGREENS TO BE INSTALLED OVER ANY PROPOSED OR EXISTING UTILITY LINES AS SHOWN ON THE OVERALL LANDSCAPE PLAN. SEE ENGINEERING PLANS FOR LOCATION AND DETAILS.
- WATERING OF ALL PLANTS AND TREES TO BE PROVIDED IMMEDIATELY AND MULCHING WITHIN 24 HOURS AFTER INSTALLATION.
- ALL TREE PITS TO BE TESTED FOR PROPER DRAINAGE PRIOR TO TREE PLANTING. PROVIDE APPROPRIATE DRAINAGE SYSTEM AS REQUIRED IF THE TREE PIT DOES NOT DRAIN SUFFICIENTLY.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE PLANT MATERIALS AND IRRIGATION INSTALLATION FOR A PERIOD OF (2) TWO YEARS BEGINNING AFTER THE COMPLETION OF LANDSCAPE INSTALLATION DATE APPROVED BY THE CITY OR LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE DURING AND AT THE END OF THE GUARANTEE PERIOD, ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINED BY THE TOWNSHIP OR LANDSCAPE ARCHITECT, WITHOUT COST TO THE OWNER.

**landscape maintenance notes:**

- LANDSCAPE MAINTENANCE PROCEDURES AND FREQUENCIES TO BE FOLLOWED SHALL BE SPECIFIED ON THE LANDSCAPE PLAN, ALONG WITH THE MANNER IN WHICH THE EFFECTIVENESS, HEALTH AND INTENDED FUNCTION OF THE VARIOUS LANDSCAPE AREAS ON THE SITE WILL BE ENSURED.
- LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE FROM DEBRIS AND REFUSE.
  - PRUNING SHALL BE MINIMAL AT THE TIME OF INSTALLATION, ONLY TO REMOVE DEAD OR DISEASED BRANCHES. SUBSEQUENT PRUNING SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PURPOSE.
  - ALL DEAD OR DISEASED PLANT MATERIAL SHALL BE REMOVED AND REPLACED WITHIN SIX (6) MONTHS AFTER IT DIES OR IN THE NEXT PLANTING SEASON, WHICHEVER OCCURS FIRST. THE PLANTING SEASON FOR DECIDUOUS PLANTS SHALL BE BETWEEN MARCH 15 AND NOVEMBER 15 OR UNTIL THE PREPARED SOIL BECOMES FROZEN. THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1. PLANT MATERIAL INSTALLED TO REPLACE DEAD OR DISEASED MATERIAL SHALL BE AS CLOSE AS PRACTICAL TO THE SIZE OF THE MATERIAL IT IS INTENDED TO REPLACE.
  - THE APPROVED LANDSCAPE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN APPROVAL, UNLESS OTHERWISE APPROVED IN ACCORDANCE WITH THE AFOREMENTIONED PROCEDURES. ANY REVISIONS TO OR REMOVAL OF PLANT MATERIALS WILL PLACE THE PARCEL IN NON-COMPLIANCE WITH THE APPROVED LANDSCAPE PLAN, AND SHALL BE VIEWED AS A VIOLATION OF THIS ORDINANCE AND THE AGREED UPON TERMS OF THE FINAL SITE PLAN APPROVAL.

**landscape requirements:**

greenbelt landscape	REQUIRED	PROVIDED
TOTAL LF. OF GREENBELT FRONTAGE (PRATT AVE.)	176'	
ONE (1) DECIDUOUS OR EVERGREEN TREE PER 40 LF. (176 LF / 40 LF = 4.4 x 1 = 4 TREES)	4	4
FOUR (4) SHRUBS PER 40 LF. (176 LF / 40 LF = 4.4 x 4 = 17.6 SHRUBS)	18	18

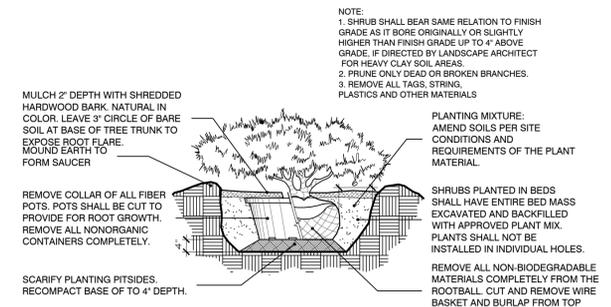
  

parking	REQUIRED	PROVIDED
TOTAL NO. OF PARKING SPACES PROVIDED	31	
ONE (1) DECIDUOUS TREE PER 10-SPACES (31 / 10 SPACES = 3.1 TREES)	3	3

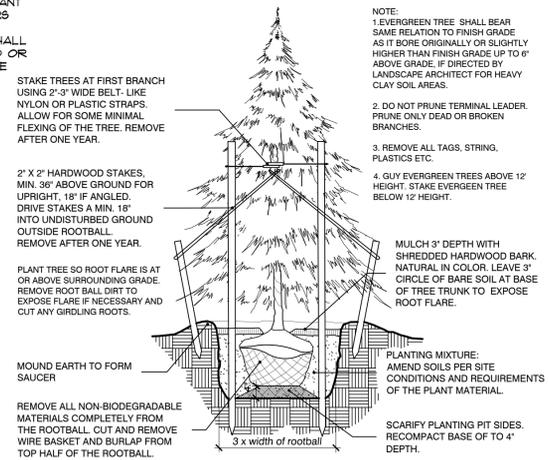
  

interior landscape	REQUIRED	PROVIDED
TOTAL SQ.FT. OF PROPERTY (North Property)	26.44 ±	
TAKE 5% OF PROPERTY FOR INTERIOR LANDSCAPE (26.44 x 5% = 1.32 ac x 43,560 = 57,586 sq.ft.)		
ONE (1) DECIDUOUS/ORNAMENTAL/EVERGREEN TREE PER 400 SQ.FT. (57,586 SQ.FT. / 400 SQ.FT. = 143.9 TREES)	144	151 + 'A'
ONE (1) SHRUB PER 250 SQ.FT. (57,586 SQ.FT. / 250 SQ.FT. = 230.3 SHRUBS)	230	'A'

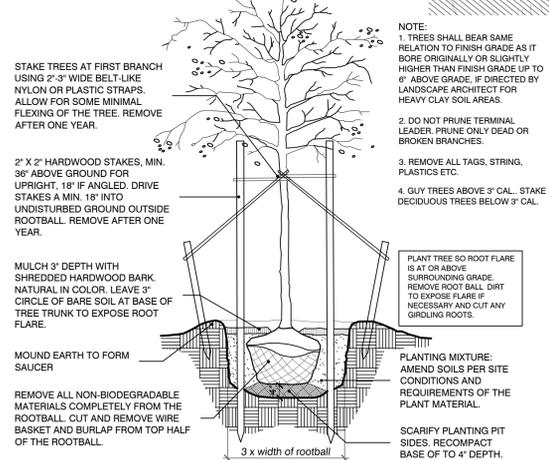
**FOOT NOTE:**  
 'A' EXISTING TREES AND VEGETATION TO BE ASSIGN TOWARD SUPPLEMENTAL LANDSCAPE PLANTINGS AND CREDITED TOWARDS LANDSCAPE REQUIREMENTS. IN ADDITIONAL, AN 8' HIGH OPAQUE FABRIC PRIVACY SCREEN FENCE TO BE PROVIDED FOR ENTIRE PROPERTY PERIMETER. SEE SHEET LS-3 FOR DETAILS AND ENGINEERING SITE PLAN FOR EXACT LOCATION



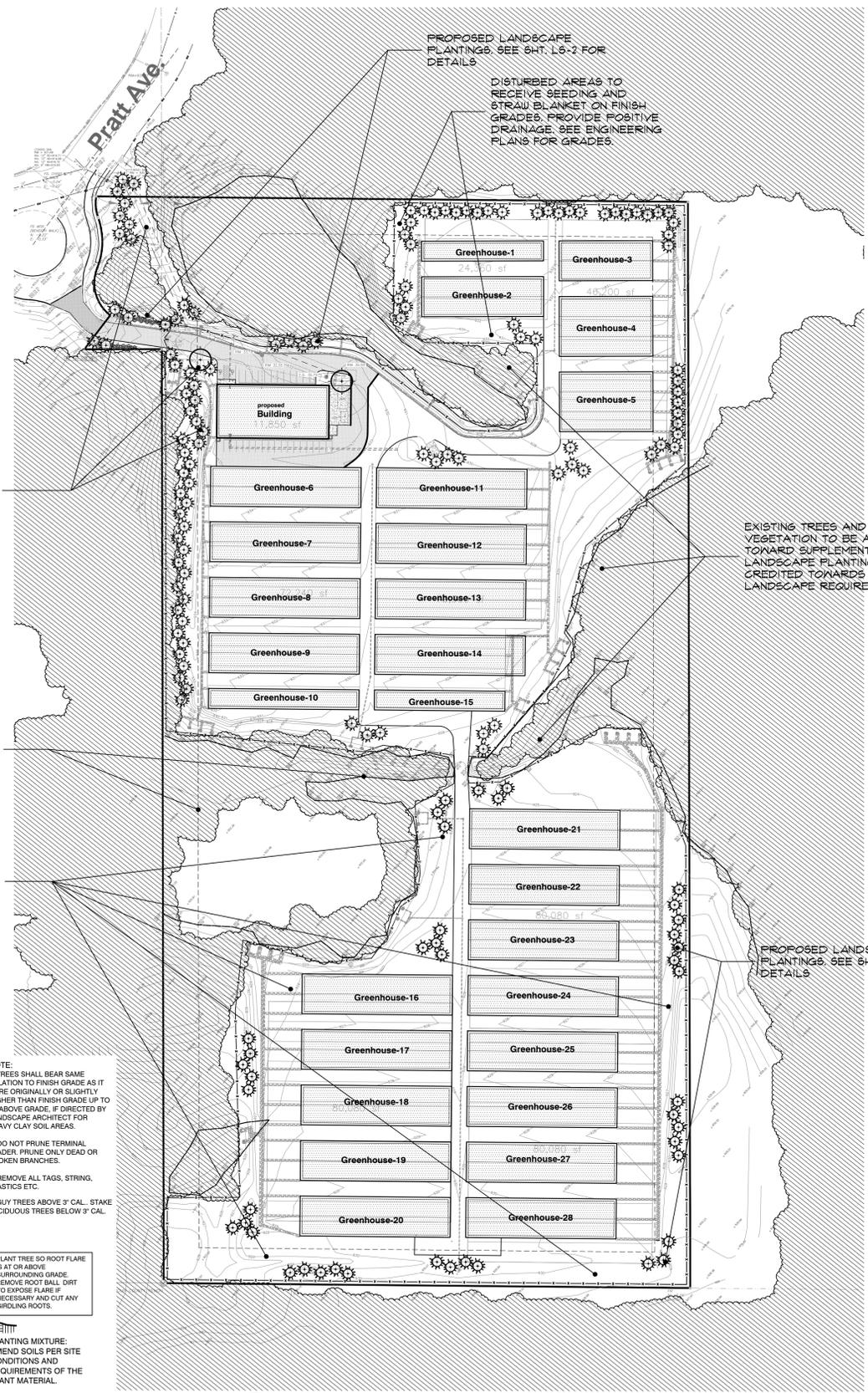
**shrub planting detail**  
 no scale



**evergreen planting detail**  
 no scale



**tree planting detail**  
 no scale



**1A overall landscape plan view**  
 SCALE: 1" = 100'-0"

seal:

client:  
**MPM Companies, LP**

1001 Woodward Ave,  
 Suite 500, Unit 6A121  
 Detroit, Michigan  
 48226

project:  
**MPM Pratt Road Cultivation Facility**

project location:  
 City of Marshall,  
 Michigan  
 11300 17 Mile Road

sheet title:  
**landscape planting detail**

job no./issue/revision date:  
 LS20.105.12 SPA 12/21/2020  
 LS21.027.01 SPA 2/1/2021

drawn by:  
**JP, KM, DK**

checked by:  
**FP**  
 date:  
**1-25-2021**

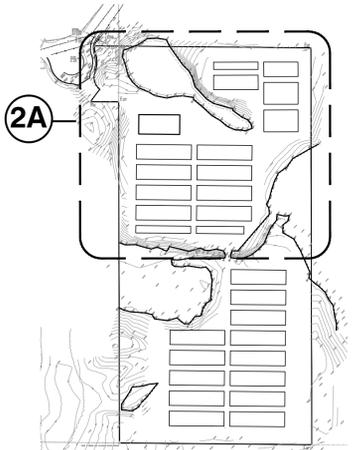
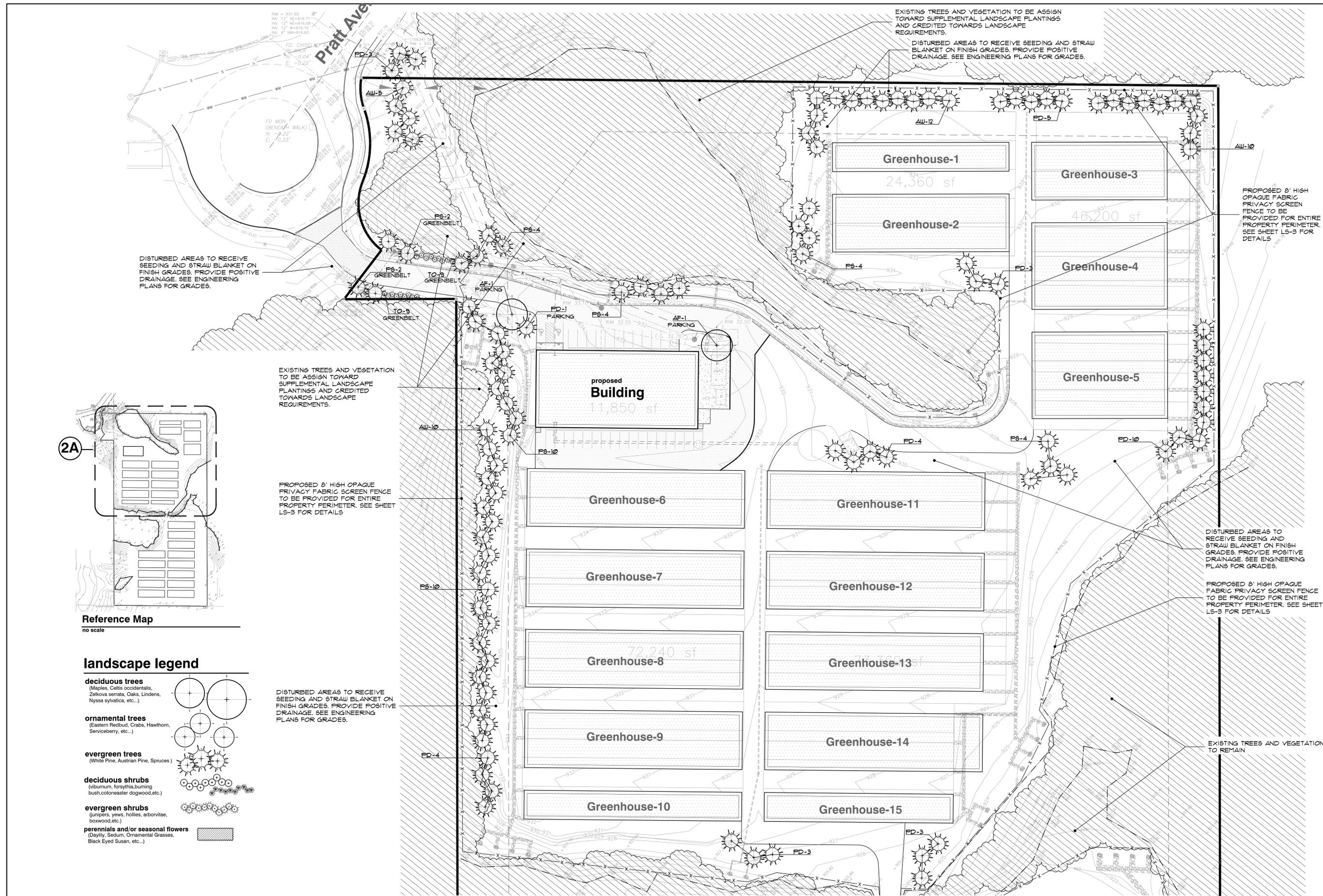
notice:  
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 Do Not scale drawings. Use figured dimensions only



The location and elevations of existing underground utilities as shown on this drawing are only approximate; no guarantee is either expressed or implied as to the completeness of accuracy; contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of construction

project no:  
**LS21.027.01**

sheet no:  
**LS-1 of 3**



**Reference Map**  
 no scale

**landscape legend**

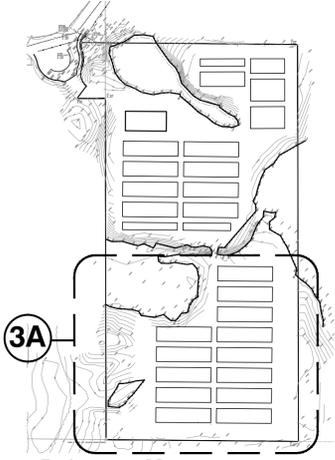
- deciduous trees**  
 (Maples, Celtis occidentalis, Zelkova serrata, Oaks, Lindens, Nyssa sylvatica, etc.)
- ornamental trees**  
 (Eastern Redbud, Crabs, Hawthorn, Serviceberry, etc.)
- evergreen trees**  
 (White Pine, Austrian Pine, Spruces)
- deciduous shrubs**  
 (viburnum, forsythia, burning bush, cotoneaster, dogwood, etc.)
- evergreen shrubs**  
 (junipers, yews, hollies, arborvitae, boxwood, etc.)
- perennials and/or seasonal flowers**  
 (Daylily, Sedum, Ornamental Grasses, Black Eyed Susan, etc.)

**DISTURBED AREAS TO RECEIVE SEEDING AND STRAW BLANKET ON FINISH GRADES. PROVIDE POSITIVE DRAINAGE. SEE ENGINEERING PLANS FOR GRADES.**

**2A** landscape planting detail  
 scale: 1" = 40' - 0"

**plant material list**

key	quant. LS-2	quant. LS-3	botanical name	common name	size
AF	2	-	ACER X FREEMANII 'JEFFERSON'	AUTUMN BLAZE RED MAPLE	3" BB
TO	18	-	THUJA OCCIDENTALIS 'WOODWARDII'	WOODWARDII'S GLODE ARBORVITAE	24" BB
AIW	31	6	FICEA ABIES	CONCOLOR FIR	8' BB
FS	40	22	FINUS STROBUS	EASTERN WHITE PINE	8' BB
FD	36	15	FICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	8' BB



**Reference Map**  
no scale

**landscape legend**

- deciduous trees**  
(Maples, Celtis occidentalis, Zailkova serrata, Oaks, Lindens, Nysa sylvatica, etc...)
- ornamental trees**  
(Eastern Redbud, Crab, Hawthorn, Serviceberry, etc...)
- evergreen trees**  
(White Pine, Austrian Pine, Spruces)
- deciduous shrubs**  
(Viburnum, Forsythia, Burning bush, Cotoneaster dogwood, etc...)
- evergreen shrubs**  
(Junipers, yews, hollies, arborvitae, boxwood, etc...)
- perennials and/or seasonal flowers**  
(Daylily, Sedum, Ornamental Grasses, Black Eyed Susan, etc...)



**opaque fabric screen fence**

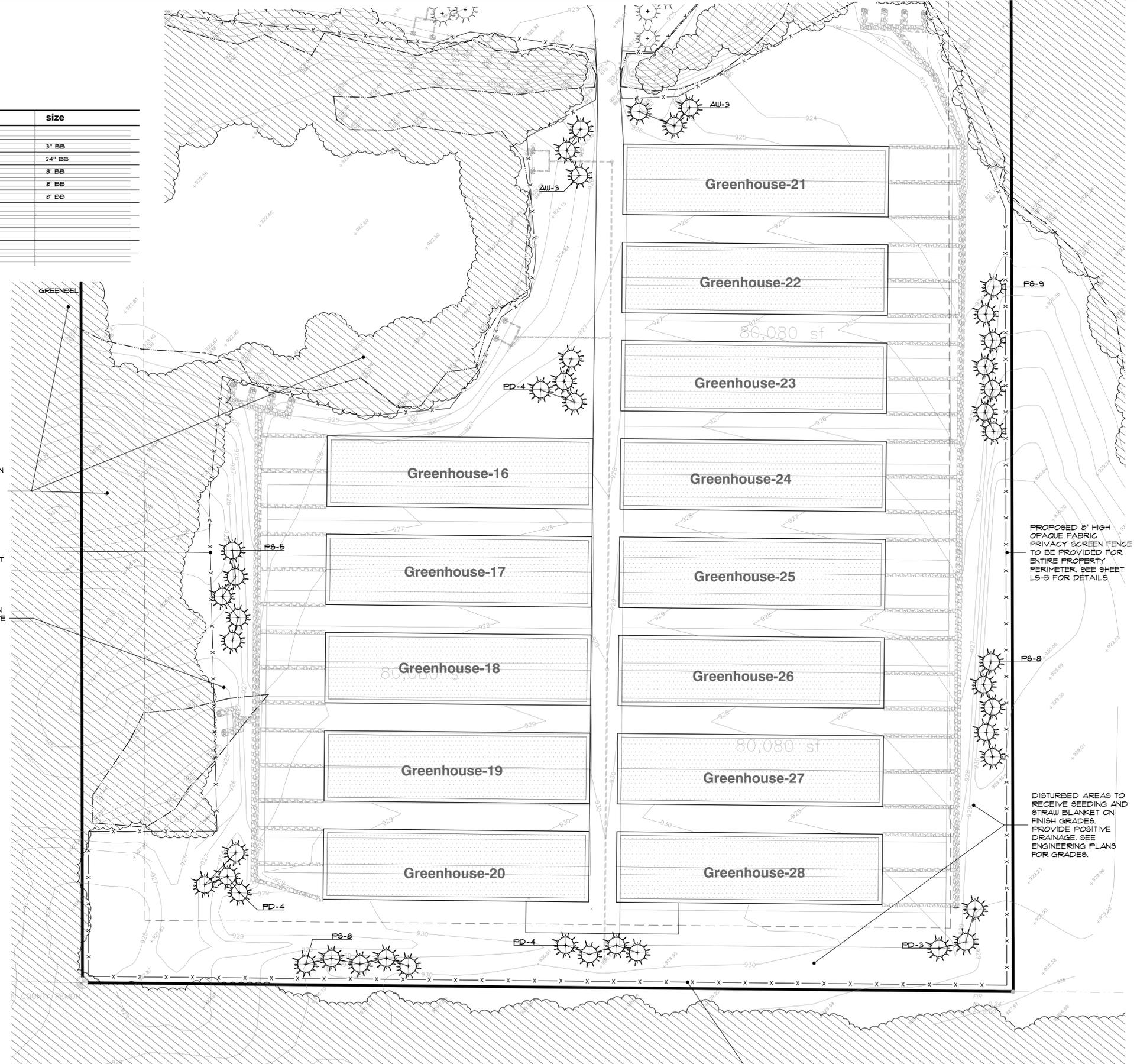
MANUFACTURE:  
 PRIVACYSCREEN OR EQUAL  
 22961 ARROYO VISTA, RANCHO  
 SANTA MARGARITA, CA, 92688  
 PH. (888)313-6313  
 EMAIL: WWW.FENCESCREEN.COM

MODEL:  
 FENCE BLOCK 100 SERIES  
 FINISH SELECTION:  
 GREEN

EXISTING TREES AND VEGETATION TO BE ASSIGNED TOWARD SUPPLEMENTAL LANDSCAPE PLANTINGS AND CREDITED TOWARDS LANDSCAPE REQUIREMENTS.

PROPOSED 8' HIGH OPAQUE FABRIC PRIVACY SCREEN FENCE TO BE PROVIDED FOR ENTIRE PROPERTY PERIMETER. SEE SHEET LS-3 FOR DETAILS

DISTURBED AREAS TO RECEIVE SEEDING AND STRAW BLANKET ON FINISH GRADES. PROVIDE POSITIVE DRAINAGE. SEE ENGINEERING PLANS FOR GRADES.



**3A landscape planting detail**  
scale: 1" = 40' - 0"

PROPOSED 8' HIGH OPAQUE FABRIC PRIVACY SCREEN FENCE TO BE PROVIDED FOR ENTIRE PROPERTY PERIMETER. SEE SHEET LS-3 FOR DETAILS

seal:

client:  
**MPM Companies, LP**

1001 Woodward Ave,  
 Suite 500, Unit 6A121  
 Detroit, Michigan  
 48226

project:  
**MPM Pratt Road Cultivation Facility**

project location:  
 City of Marshall,  
 Michigan  
 11300 17 Mile Road

sheet title:  
**landscape planting detail**

job no./issue/revision date:  
 LS20.105.12 SPA 12/21/2020  
 LS21.027.01 SPA 2/1/2021

drawn by:  
**JP, KM, DK**  
 checked by:  
**FP**  
 date:  
**1-25-2021**

notice:  
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project no:  
**LS21.027.01**

sheet no:  
**LS-3 of 3**

Project Title

## Marshall 26 AC Site Plan

1717 Pratt Ave  
Marshall, MI

Key Plan



Project Administrator

B. Sundberg

Project Designer

Designer

Project Architect / Engineer

B. Sundberg

Drawn By

Author

Q.M. Review

QM

Approved

B. Sundberg

Drawing Scale

1" = 80'-0"

Issued for Issue Date

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IDS Drawing Title

## Architectural Site Plan

**NOT FOR CONSTRUCTION**

iDS Project Number Drawing Number

18156-1000

**A1**



## ARCHITECTURAL SITE PLAN

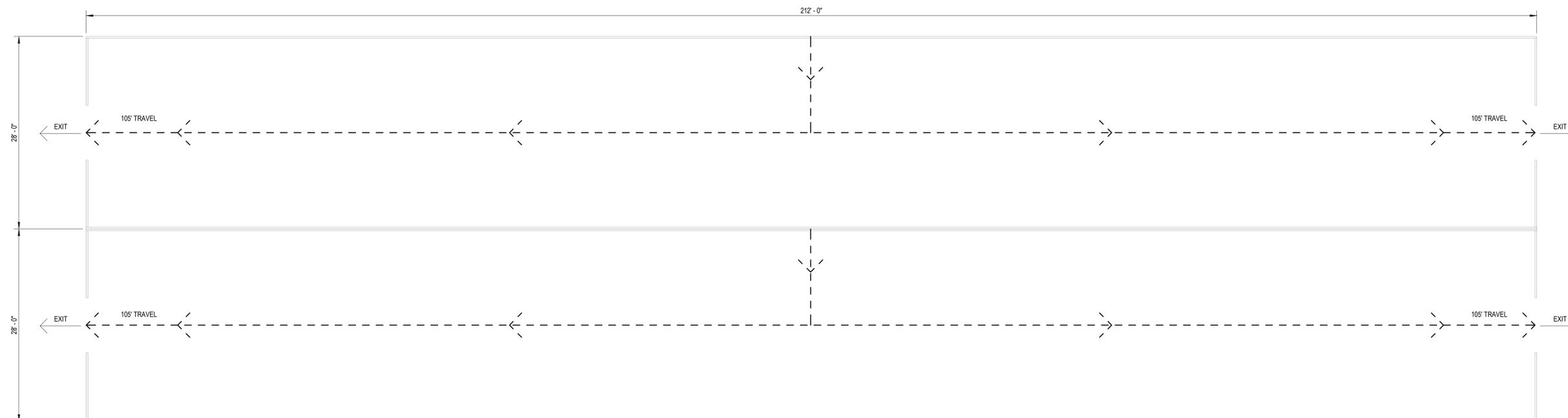
1" = 80'-0"

Project Title

## Marshall 26 AC Site Plan

1717 Pratt Ave  
Marshall, MI

Key Plan



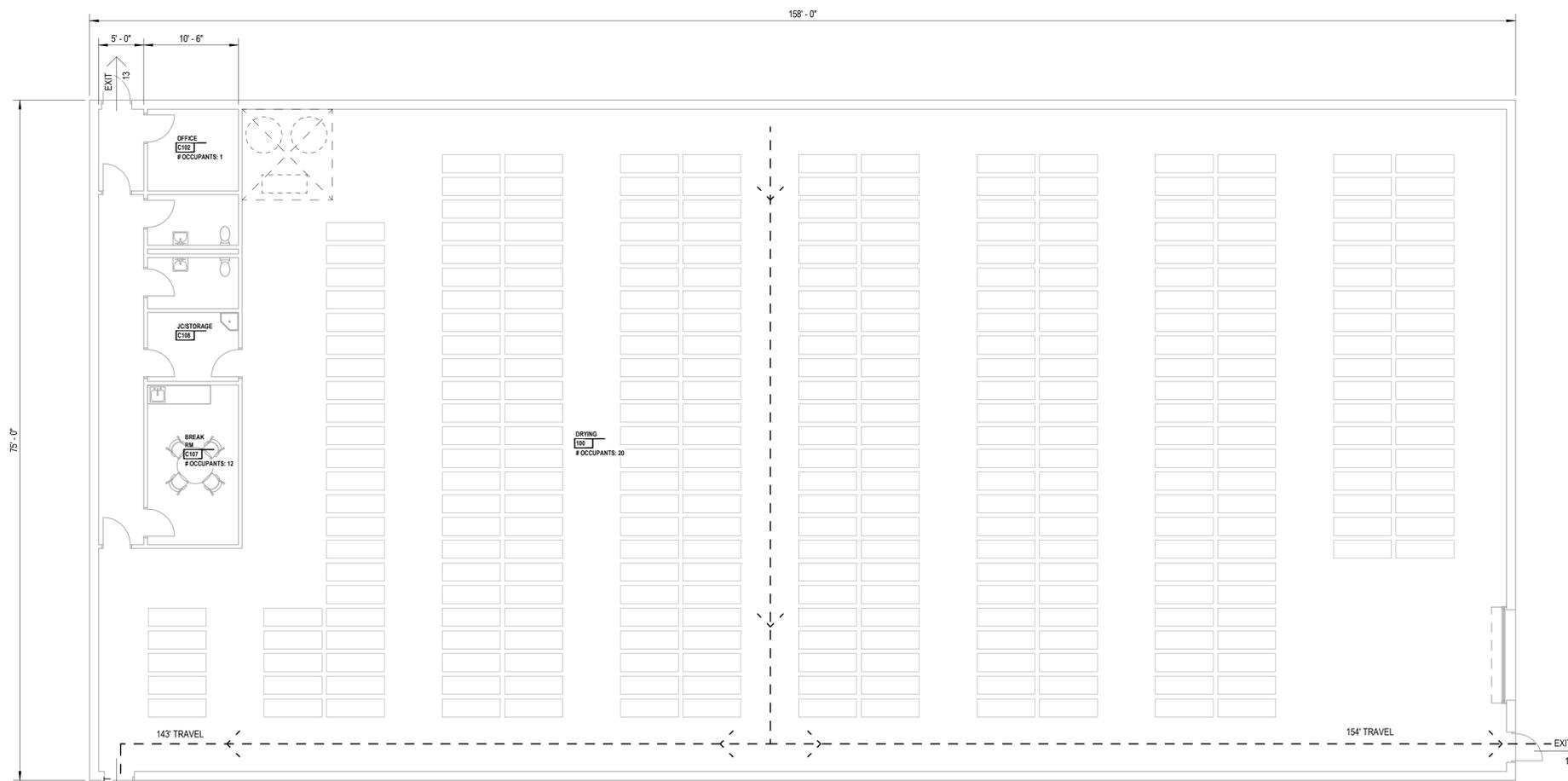
### HOOP HOUSE LIFE SAFETY PLAN

1/8" = 1'-0"

- APPLICABLE CODES:**
- BUILDING:**
    - Michigan Department of Licensing and Regulatory Affairs, Bureau of Construction Codes, 2015 Michigan Building Code, Incorporating the 2015 Edition of the International Building Code
  - BARRIER FREE:**
    - Michigan Department of Licensing and Regulatory Affairs, Bureau of Construction Codes, 2015 Michigan Building Code, Incorporating the 2015 Edition of the International Building Code
    - Michigan Department of Licensing and Regulatory Affairs, Bureau of Construction Codes, 2009 ICC A117.1 - Accessible and Usable Buildings and Facilities
    - U.S. Department of Justice and Architecture and Transportation Barriers Compliance Board, American with Disabilities Act (ADA) 2010 - Standards for Accessible Design
  - ENERGY:**
    - Michigan Department of Licensing and Regulatory Affairs, Bureau of Construction Codes, Part 10a - Michigan Energy Code for Buildings and Structures, Not Including Residential Buildings, Incorporating the 2013 Edition of the ANSI/ASHRAE/IESNA Standard 90.1
  - STRUCTURAL:**
    - Michigan Department of Licensing and Regulatory Affairs, Bureau of Construction Codes, 2015 Michigan Building Code, Incorporating the 2015 Edition of the International Building Code
  - MECHANICAL:**
    - Michigan Department of Licensing and Regulatory Affairs, Bureau of Construction Codes, Mechanical Division, 2015 Michigan Mechanical Code, Incorporating the 2015 Edition of the International Mechanical Code
  - PLUMBING:**
    - Michigan Department of Licensing and Regulatory Affairs, Bureau of Construction Codes, Plumbing Division, 2015 Michigan Plumbing Code, Incorporating the 2015 Edition of the International Plumbing Code
  - FIRE PROTECTION:**
    - Michigan Department of Licensing and Regulatory Affairs, Bureau of Construction Codes, 2015 Michigan Building Code, Incorporating the 2013 Edition of NFPA 13 - Installation of Sprinkler Systems
  - ELECTRICAL:**
    - Michigan Department of Licensing and Regulatory Affairs, Bureau of Construction Codes, Electrical Division, 2017 Michigan Electrical Code, Incorporating the 2017 Edition of the National Electrical Code
  - FIRE ALARM:**
    - Michigan Department of Licensing and Regulatory Affairs, Bureau of Construction Codes, Electrical Division, Incorporating the 2013 Edition of NFPA 72 - National Fire Alarm and Signaling Code

**BUILDING INFORMATION**  
LARGEST HOOP HOUSE  
OCCUPANCY GROUP: F-2  
AREA: 11,871 SF  
LOW HAZARD BUILDING  
MAX UNSPRINKLERED EXIT ACCESS TRAVEL DISTANCE: 200 FT  
UNOCCUPIED

**DRYING BUILDING**  
TYPE OF CONSTRUCTION: IIB  
OCCUPANCY GROUP: F-1  
AREA: 11,850 SF  
MAX UNSPRINKLERED EXIT ACCESS TRAVEL DISTANCE: 200 FT



### FIRST FLOOR LIFE SAFETY PLAN

1/8" = 1'-0"



Project Administrator	B. Sundberg
Project Designer	B. Sundberg
Designer	B. Sundberg
Project Architect / Engineer	B. Sundberg
Drawn By	Author
Q.M. Review	Q.M. Review
Approved	Approved
Drawing Scale	1/8" = 1'-0"
Issued for	Issue Date

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IDS Drawing Title

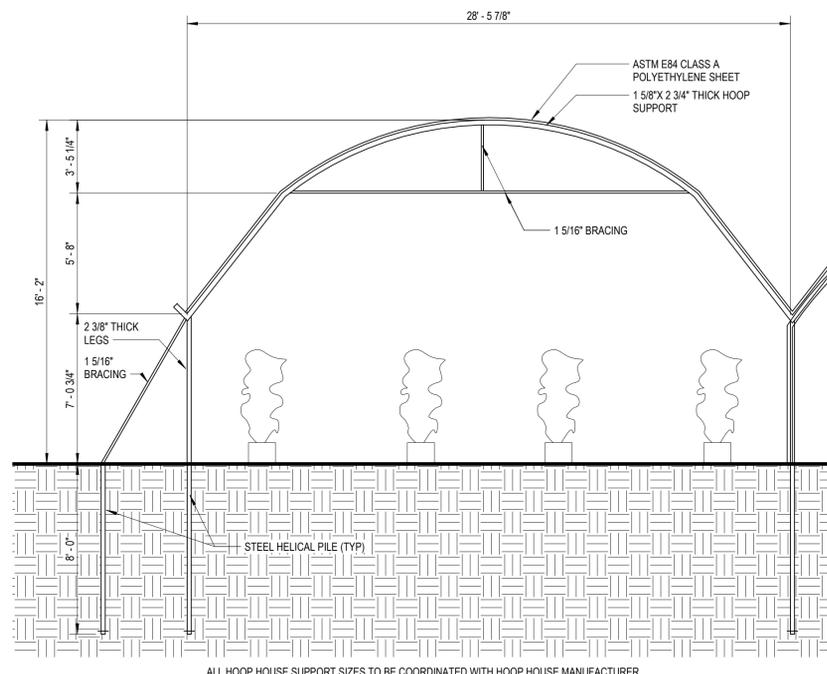
### Life Safety Plan/Information

**NOT FOR CONSTRUCTION**

iDS Project Number Drawing Number

18156-1000

**A2**

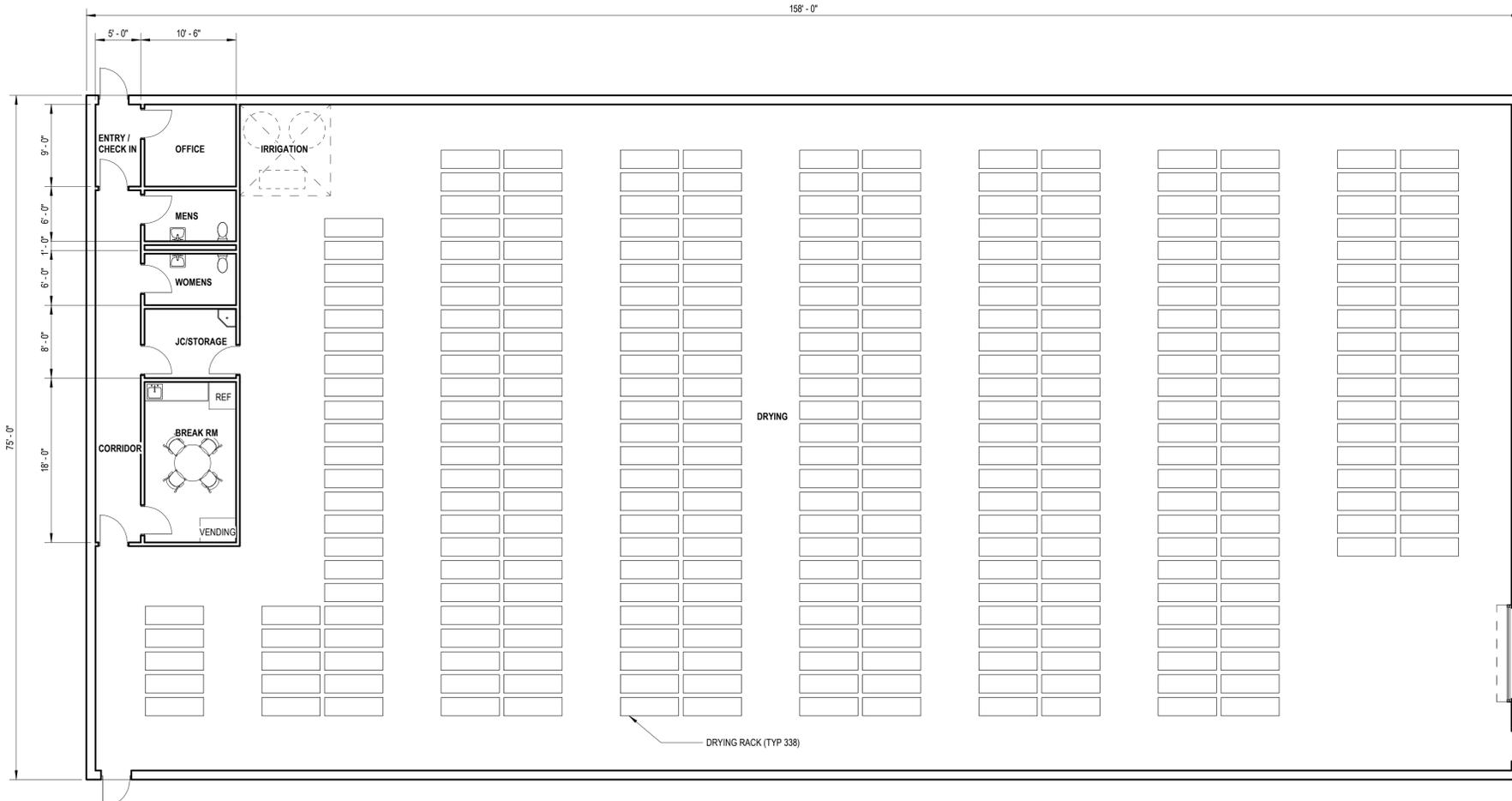


**TYPICAL HOOP HOUSE CROSS SECTION**

1/4\" = 1'-0\"



158'-0\"



**FIRST FLOOR NEW WORK PLAN**

1/8\" = 1'-0\"

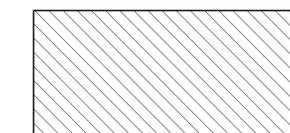


Project Title

## Marshall 26 AC Site Plan

1717 Pratt Ave  
Marshall, MI

Key Plan



Project Administrator

B. Sundberg

Project Designer

M. Showalter

Project Architect / Engineer

B. Sundberg

Drawn By

M. Showalter

Q.M. Review

QM

Approved

B. Sundberg

Drawing Scale

As indicated

Issued for Issue Date

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IDS Drawing Title

## First Floor New Work Plan/Section

**NOT FOR CONSTRUCTION**

iDS Project Number Drawing Number

18156-1000

**A3**



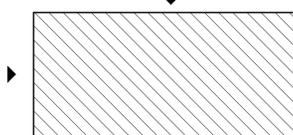


Project Title

## Marshall 26 AC Site Plan

1717 Pratt Ave  
Marshall, MI

Key Plan



Project Administrator

B. Sundberg

Project Designer

M. Showalter

Project Architect / Engineer

B. Sundberg

Drawn By

M. Showalter

Q.M. Review

QM

Approved

B. Sundberg

Drawing Scale

1/8" = 1'-0"

Issued for Issue Date

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IDS Drawing Title

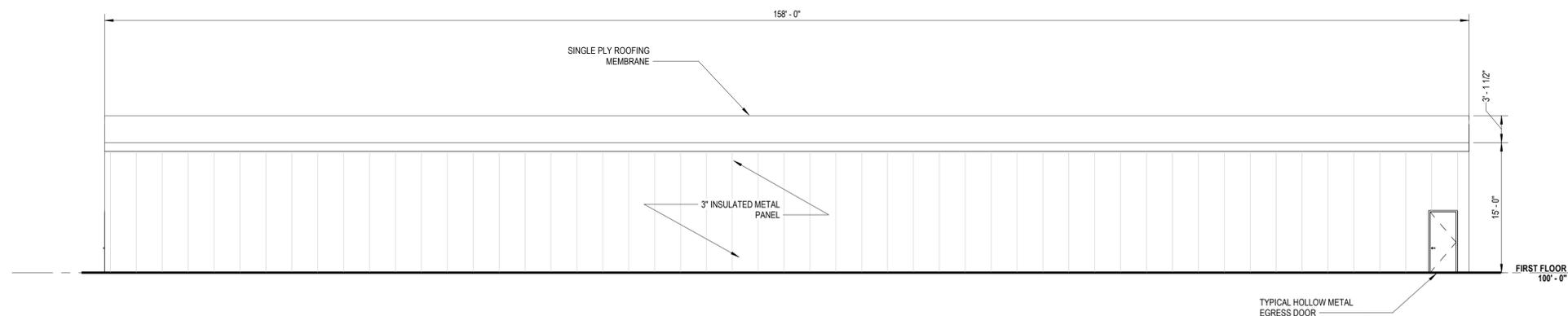
Exterior Elevations

**NOT FOR CONSTRUCTION**

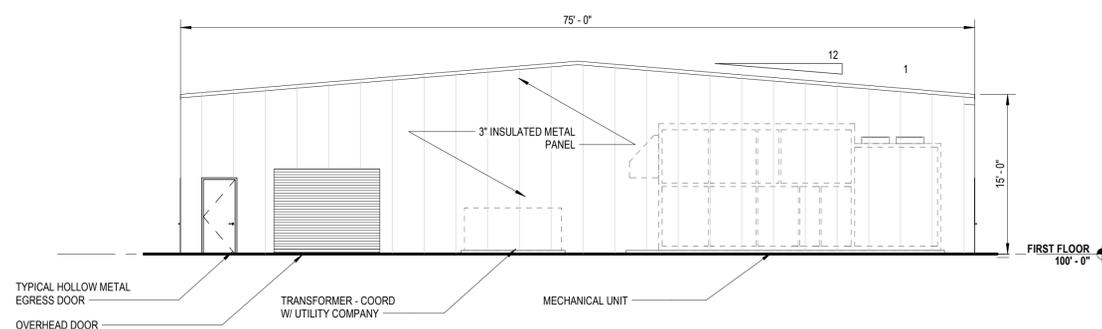
IDS Project Number Drawing Number

18156-1000

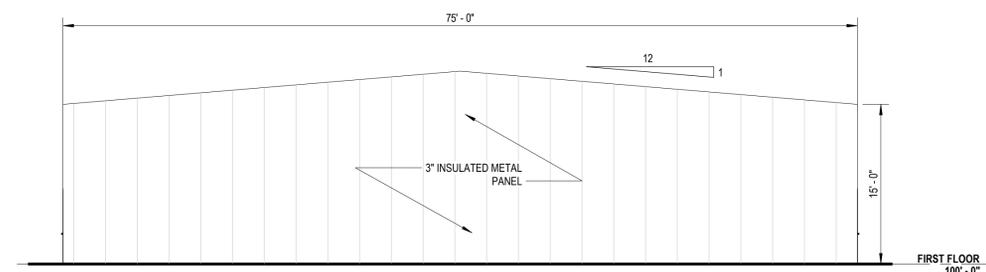
**A4**



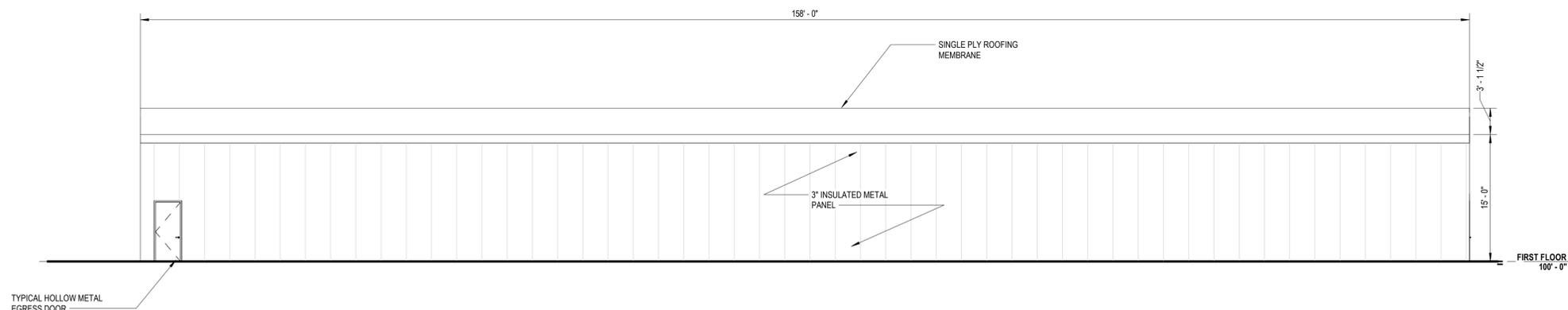
4 NORTH ELEVATION  
A3 1/8" = 1'-0"



3 EAST ELEVATION  
A3 1/8" = 1'-0"



2 WEST ELEVATION  
A3 1/8" = 1'-0"



1 SOUTH ELEVATION  
A3 1/8" = 1'-0"

Project Title

## Marshall 26 AC Site Plan

1717 Pratt Ave  
Marshall, MI

Key Plan



Project Administrator

B. Sundberg

Project Designer

E. Welch

Project Architect / Engineer

B. Sundberg

Drawn By

E. Welch

Q.M. Review

QM

Approved

B. Sundberg

Drawing Scale

Issued for Issue Date

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IDS Drawing Title

Exterior  
Rendering

**NOT FOR CONSTRUCTION**

iDS Project Number Drawing Number

18156-1000 **A5**



Project Title

## Marshall 26 AC Site Plan

1717 Pratt Ave  
Marshall, MI

Key Plan



CC MARSHALL 26 AC - ENTRY DRIVE 01

Project Administrator

B. Sundberg

Project Designer

E. Welch

Project Architect / Engineer

B. Sundberg

Drawn By

E. Welch

Q.M. Review

QM

Approved

B. Sundberg

Drawing Scale

Issued for Issue Date

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IDS Drawing Title

Exterior  
Rendering

**NOT FOR CONSTRUCTION**

iDS Project Number Drawing Number

18156-1000

**A6**



Project Title

## Marshall 26 AC Site Plan

1717 Pratt Ave  
Marshall, MI

Key Plan



CC MARSHALL 26 AC - PERSPECTIVE 01

Project Administrator

B. Sundberg

Project Designer

E. Welch

Project Architect / Engineer

B. Sundberg

Drawn By

E. Welch

Q.M. Review

QM

Approved

B. Sundberg

Drawing Scale

No Scale

Issued for Issue Date

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IDS Drawing Title

Exterior  
Rendering

**NOT FOR CONSTRUCTION**

iDS Project Number Drawing Number

18156-1000

**A7**



Project Title

## Marshall 26 AC Site Plan

1717 Pratt Ave  
Marshall, MI

Key Plan



CC MARSHALL 26 AC - SE BIRDSEYE

Project Administrator

B. Sundberg

Project Designer

E. Welch

Project Architect / Engineer

B. Sundberg

Drawn By

E. Welch

Q.M. Review

QM

Approved

B. Sundberg

Drawing Scale

Issued for Issue Date

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IDS Drawing Title

Exterior  
Rendering

NOT FOR CONSTRUCTION

iDS Project Number Drawing Number

18156-1000

**A8**



Project Title

## Marshall 26 AC Site Plan

1717 Pratt Ave  
Marshall, MI

Key Plan



Project Administrator

B. Sundberg

Project Designer

E. Welch

Project Architect / Engineer

B. Sundberg

Drawn By

E. Welch

Q.M. Review

QM

Approved

B. Sundberg

Drawing Scale

Issued for Issue Date

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IDS Drawing Title

Exterior  
Rendering

**NOT FOR CONSTRUCTION**

iDS Project Number Drawing Number

18156-1000

**A9**



Project Title

## Marshall 26 AC Site Plan

1717 Pratt Ave  
Marshall, MI

Key Plan



Project Administrator

B. Sundberg

Project Designer

E. Welch

Project Architect / Engineer

B. Sundberg

Drawn By

E. Welch

Q.M. Review

QM

Approved

B. Sundberg

Drawing Scale

Issued for Issue Date

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IDS Drawing Title

Exterior  
Rendering - Entry

**NOT FOR CONSTRUCTION**

iDS Project Number Drawing Number

18156-1000

**A10**



# SITE PLAN DRAWINGS FOR MPM Pratt Road Cultivation Facility

PRATT ROAD  
MARSHALL, MICHIGAN

## LEGAL DESCRIPTION (AS PROVIDED)

A PARCEL OF LAND LOCATED IN THE SOUTHEAST 1/4 OF SECTION 1, TOWN 3 SOUTH, RANGE 6 WEST, CITY OF MARSHALL, CALHOUN COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS: BEGINNING AT THE SOUTH 1/4 CORNER OF SECTION 1, TOWN 3 SOUTH, RANGE 6 WEST, CITY OF MARSHALL, CALHOUN COUNTY, MICHIGAN; THENCE SOUTH 89°22'27" EAST ALONG THE SOUTH LINE OF SAID SECTION, A DISTANCE OF 742.66 FEET; THENCE NORTH 00°07'05" WEST, PARALLEL WITH THE NORTH AND SOUTH 1/4 LINE OF SAID SECTION 1, A DISTANCE OF 1525.00 FEET; THENCE NORTH 89°27'27" WEST, PARALLEL WITH THE SOUTH LINE OF SAID SECTION, A DISTANCE OF 834.66 FEET TO THE EASTERLY RIGHT-OF-WAY OF PRATT AVENUE; THENCE 30.28 FEET ALONG SAID RIGHT-OF-WAY AND THE ARC OF A CURVE TO LEFT WHOSE RADIUS IS 57.00 FEET AND WHOSE CHORD BEARS SOUTH 04°51'25" EAST, 29.92 FEET; THENCE CONTINUING ALONG SAID RIGHT-OF-WAY, 72.24 FEET ALONG THE ARC OF A CURVE TO THE RIGHT WHOSE RADIUS IS 98.00 FEET AND WHOSE CHORD BEARS SOUTH 00°57'05" WEST, 70.61 FEET; THENCE CONTINUING ALONG SAID RIGHT-OF-WAY, 74.29 FEET ALONG THE ARC OF A CURVE TO THE LEFT WHOSE RADIUS IS 57.00 FEET AND WHOSE CHORD BEARS SOUTH 15°16'09" EAST, 69.14 FEET; THENCE SOUTH 37°23'39" WEST ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 60.00 FEET; THENCE NORTH 89°52'55" EAST, 109.30 FEET TO THE NORTH AND SOUTH 1/4 LINE OF SAID SECTION 1; THENCE SOUTH 00°07'05" EAST ALONG SAID 1/4 LINE, A DISTANCE OF 1311.31 FEET TO THE PLACE OF BEGINNING, CONTAINING 26.44 ACRES OF LAND, MORE OR LESS, AND BEING SUBJECT TO ANY EASEMENTS, RESTRICTIONS, OR CONDITIONS OF RECORD.

## BOUNDARY NOTE

THE BOUNDARY WAS NOT PERFORMED DURING THIS SURVEY.

## BEARING REFERENCE

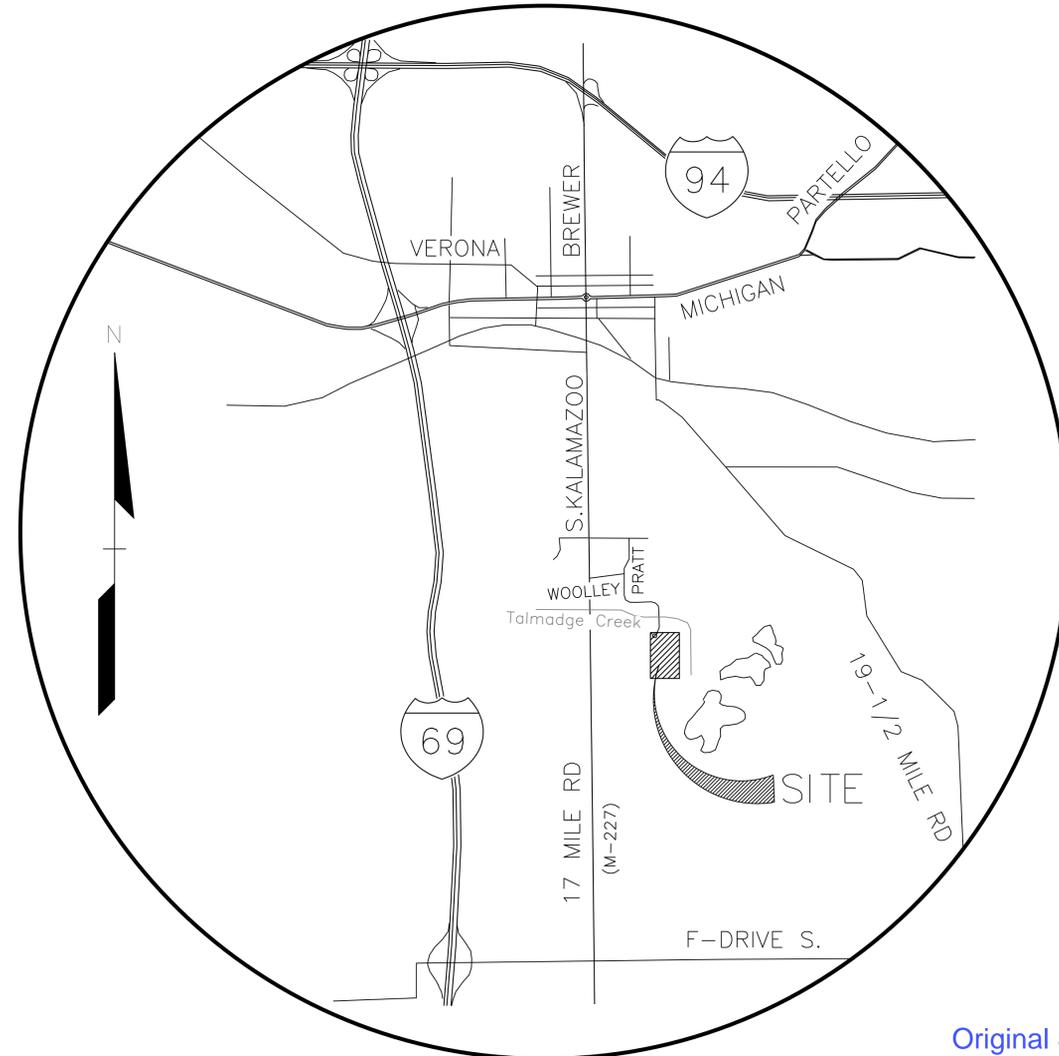
Bearings are based on Survey performed by: Crane Land Surveying, P.C., Job No.: 41101, Dated: 06/01/2017.

## BENCHMARKS

DATUM: NAVD83  
REFERENCE CORS STATION USED TO ESTABLISH BASE CONTROL ONSITE: RTCM0015

BM A:  
ARROW ON HYDRANT, 335± NORTH OF SUBJECT'S NORTH PROPERTY LINE & 34'± EAST OF PRATT AVENUE.  
ELEV = 929.49

BM B:  
ARROW ON HYDRANT, 187± WEST OF CUL-DE-SAC OF PRATT AVENUE.  
ELEV = 935.39



LOCATION MAP  
SCALE: 1"=5000'

## INDEX OF DRAWINGS:

### PROPOSED SITE PLAN

- C-0.0 COVER SHEET
- C-1.0 OVERALL SURVEY
- C-1.1 TOPOGRAPHIC SURVEY NORTHEAST
- C-1.2 TOPOGRAPHIC SURVEY SOUTHEAST
- C-3.0 OVERALL SITE PLAN
- C-3.1 SITE PLAN NORTHEAST
- C-3.2 SITE PLAN SOUTHEAST
- C-4.1 GRADING PLAN NORTHEAST
- C-4.2 GRADING PLAN SOUTHEAST
- C-5.1 UTILITY PLAN NORTHEAST
- C-5.2 UTILITY PLAN SOUTHEAST
- C-6.0 NOTES + DETAILS
- C-6.1 DETAILS
- C-7.0 DRAINAGE CALCULATIONS
- C-7.1 DRAINAGE PLAN NORTHEAST
- C-7.2 DRAINAGE PLAN SOUTHEAST
- LS-1 LANDSCAPE PLAN
- LS-2 LANDSCAPE PLAN

- A1 FIRST FLOOR NEW WORK PLAN
- A2 EXTERIOR ELEVATIONS
- A3 EXTERIOR RENDERING
- A4 EXTERIOR RENDERING
- A5 EXTERIOR RENDERING
- A6 EXTERIOR RENDERING
- A7 EXTERIOR RENDERING

Original Site Plan submitted 12/22/2020

## ARCHITECT:

INTEGRATED DESIGN SOLUTIONS  
1441 WEST LONG LAKE RD, SUITE 200  
TROY, MI 48098  
PHONE: (248) 823-2100  
CONTACT: BRANDON SUNDBERG, AIA

## ENGINEER:

STOREY ENGINEERING GROUP, LLC  
48264 MANCHESTER  
MACOMB, MI 48044  
PHONE: (586) 216-1043  
CONTACT: TIM S. STOREY, PE

## DEVELOPER:

MPM COMPANIES, LP  
1001 WOODWARD AVE  
SUITE 500, UNIT 6A121  
DETROIT, MI 48226  
PHONE: (248) 804-8400  
CONTACT: JOE JARVIS

NO.	DATE	BY	REVISIONS
1	12-22-20	TSS	ISSUED PER COMMENTS RECEIVED FROM LDFA



**CAUTION!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY AS APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION. CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARBORLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

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48264 MANCHESTER  
MACOMB, MI 48044  
(586) 216-1043  
www.storeyengineering.com

MPM COMPANIES, LP 1001 WOODWARD AVE, SUITE 500, UNIT 6A121 DETROIT, MI 48226	TSS	DES.	TSS	DN.	TSS	SUR.	AMP	P.M.	TSS
<b>COVER SHEET</b> MPM Pratt Road Site	TSS	DES.	TSS	DN.	TSS	SUR.	AMP	P.M.	TSS
11300 - 17 MILE ROAD 11300 - 17 MILE ROAD CITY OF MARSHALL, CALHOUN COUNTY, MI	TSS	DES.	TSS	DN.	TSS	SUR.	AMP	P.M.	TSS

ORIGINAL ISSUE DATE:  
12/16/2020

Project No. 2017-013.M3

DRAWING NUMBER:  
**C-0.0**

**LEGAL DESCRIPTION (AS PROVIDED)**

A PARCEL OF LAND LOCATED IN THE SOUTHEAST 1/4 OF SECTION 1, TOWN 3 SOUTH, RANGE 6 WEST, CITY OF MARSHALL, CALHOUN COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS: BEGINNING AT THE SOUTH 1/4 CORNER OF SECTION 1, TOWN 3 SOUTH, RANGE 6 WEST, CITY OF MARSHALL, CALHOUN COUNTY, MICHIGAN; THENCE SOUTH 89°27'27" EAST ALONG THE SOUTH LINE OF SAID SECTION, A DISTANCE OF 742.66 FEET; THENCE NORTH 00°07'05" WEST, PARALLEL WITH THE NORTH AND SOUTH 1/4 LINE OF SAID SECTION 1, A DISTANCE OF 1525.00 FEET; THENCE NORTH 89°27'27" WEST, PARALLEL WITH THE SOUTH LINE OF SAID SECTION, A DISTANCE OF 834.66 FEET TO THE EASTERLY RIGHT-OF-WAY OF PRATT AVENUE; THENCE 30.28 FEET ALONG SAID RIGHT-OF-WAY AND THE ARC OF A CURVE TO THE LEFT WHOSE RADIUS IS 57.00 FEET AND WHOSE CHORD BEARS SOUTH 04°51'25" EAST, 29.92 FEET; THENCE CONTINUING ALONG SAID RIGHT-OF-WAY, 72.24 FEET ALONG THE ARC OF A CURVE TO THE RIGHT WHOSE RADIUS IS 98.00 FEET AND WHOSE CHORD BEARS SOUTH 00°57'05" WEST, 70.61 FEET; THENCE CONTINUING ALONG SAID RIGHT-OF-WAY, 74.29 FEET ALONG THE ARC OF A CURVE TO THE LEFT WHOSE RADIUS IS 57.00 FEET AND WHOSE CHORD BEARS SOUTH 15°16'09" EAST, 69.14 FEET; THENCE SOUTH 37°23'39" WEST ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 60.00 FEET; THENCE NORTH 89°52'55" EAST, 109.30 FEET TO THE NORTH AND SOUTH 1/4 LINE OF SAID SECTION 1; THENCE SOUTH 00°07'05" EAST ALONG SAID 1/4 LINE, A DISTANCE OF 1311.31 FEET TO THE PLACE OF BEGINNING, CONTAINING 26.44 ACRES OF LAND, MORE OR LESS, AND BEING SUBJECT TO ANY EASEMENTS, RESTRICTIONS, OR CONDITIONS OF RECORD.

**BOUNDARY NOTE**

THE BOUNDARY WAS NOT PERFORMED DURING THIS SURVEY.

**BEARING REFERENCE**

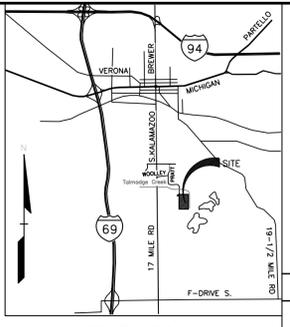
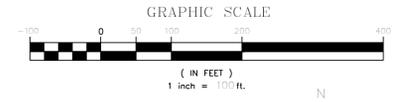
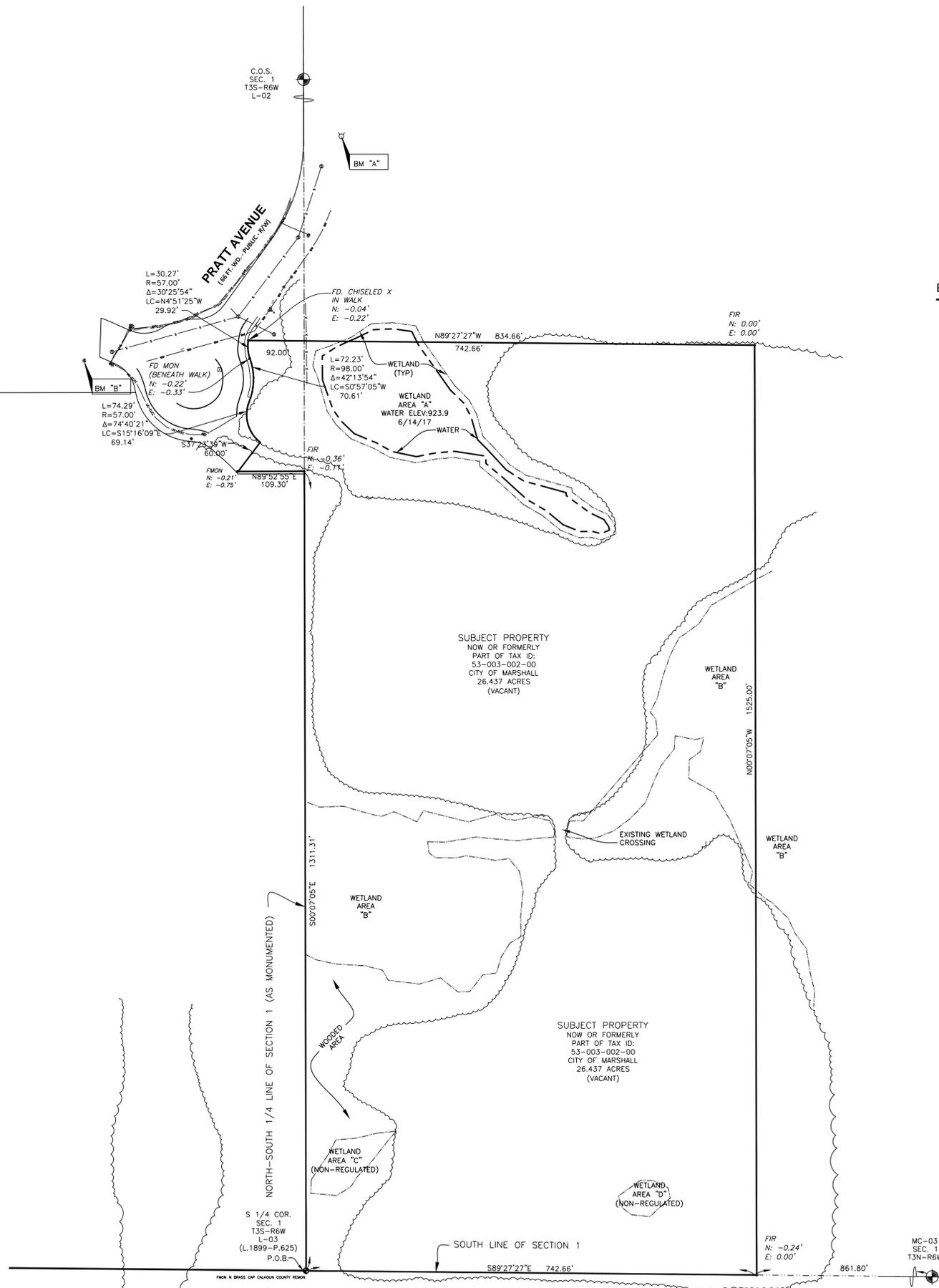
Bearings are based on Survey performed by: Crane Land Surveying, P.C., Job No.: 41101, Dated: 06/01/2017.

**BENCHMARKS**

DATUM: NAVD88  
REFERENCE CORS STATION USED TO ESTABLISH BASE CONTROL ONSITE: RTCM0015

BM A:  
ARROW ON HYDRANT, 335± NORTH OF SUBJECT'S NORTH PROPERTY LINE & 34± EAST OF PRATT AVENUE.  
ELEV = 929.49

BM B:  
ARROW ON HYDRANT, 187± WEST OF CUL-DE-SAC OF PRATT AVENUE.  
ELEV = 935.39



**EXISTING LEGEND**

- DECIDUOUS TREE, CONIFEROUS TREE, SHRUB
- TREE LINE/ CANOPY
- DITCH/ DRAINING COURSE
- UG TELE, MH, TELE PED, CABLE PED
- UG FIBER, PED, LINE MARKER, VAULT
- UG ELEC, MH, TRANSFORMER, AC UNIT, METER
- OH ELEC, UTIL POLE, GUY WIRE
- GROUND LIGHT, POLE, POLE W/ ARM LT
- LIGHT MH, LT CTRL BOX, PH, BOOTH, PARK, METER
- ELEC HAND HOLE, OUTLET, SIGNAL MH, SIGNAL BOX
- UG GAS, MH, VALVE, LINE MARKER
- GAS WELL, METER, VENT
- WATER MAIN, MH, VALVE IN BOX, HYDRANT, FDC
- WATER WELL, METER, STOP BOX, POST INDICATOR VALVE
- IRRIGATION CONTROL VALVE, SPRINKLER HEAD
- STORM SEWER, MH, CB, INLET, YARD DRAIN
- CULVERT/ END SECTION
- SANITARY SEWER, MH, CLEAN OUT
- COMBINED SEWER, MH
- STEAM LINE, MH
- MISC. MANHOLE, HAND HOLE, HAND BOX
- SKIN, FLAG POLE, GUARD POST, ROCK
- SECTION LINE, SECTION CORNER
- SURVEY CONTROL POINT, BENCHMARK
- FOUND IRON ROD (FIR), FD MON, FD PK
- SET IRON ROD (SIR), SET PK, MAG NAIL
- SPOT ELEVATION
- CONTOUR
- FENCE
- GUARD RAIL

NO.	DATE	BY	REVISIONS
1	12-16-2020	TSS	ISSUED PER COMMENTS RECEIVED FROM LDFA



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CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. INCLUDING, BUT NOT LIMITED TO, NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARBORERS PRIMARY AND ALL LIABILITY RISK OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

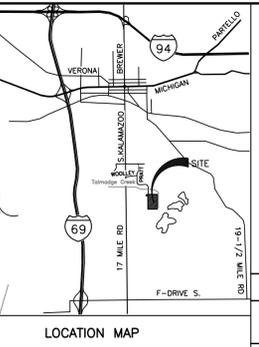
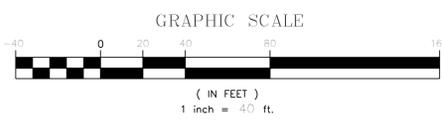
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www.storeyengineering.com

<b>MPM COMPANIES, LP</b> 1001 WOODWARD AVE, SUITE 500, UNIT 6A121 DETROIT, MI 48226 <b>OVERALL SURVEY</b> MPM Pratt Road Site 11300 17 MILE ROAD CITY OF MARSHALL, CALHOUN COUNTY, MI	DES.	TSS	DN.	TSS	SUR.	AMP	P.M.	TSS
	ORIGINAL ISSUE DATE: 12/16/2020 Project No. 2017-013.M3 SCALE: 1" = 100' DRAWING NUMBER: <b>C-1.0</b>							



NO.	DATE	BY	DESCRIPTION
1	12/16/2020	TSS	ISSUED FOR COMMENTS RECEIVED FROM LDFA
2			
3			
4			
5			
6			
7			
8			
9			
10			



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<b>TOPOGRAPHIC SURVEY - NORTHEAST</b>			
MPM Pratt Road Site			
11300 17 MILE ROAD CITY OF MARSHALL, CALHOUN COUNTY, MI			
DES.	TSS	DN.	TSS
		SUR.	AMP
			P.M.
			TSS

ORIGINAL ISSUE DATE:  
12/16/2020  
 Project No. 2017-013.M3  
 SCALE: 1" = 40'  
 DRAWING NUMBER:  
**C-1.1**

*NOTE:*  
 REFER TO SHEET C-0.0 FOR  
 BENCHMARK INFORMATION, LEGAL  
 DESCRIPTION, BEARING REFERENCE AND  
 REFERENCE DRAWING INFORMATION.

MATCH LINE  
 SEE SHEET C-1.2

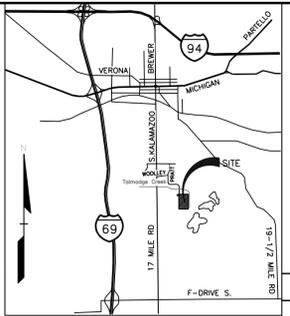
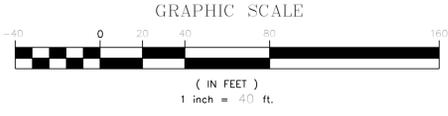
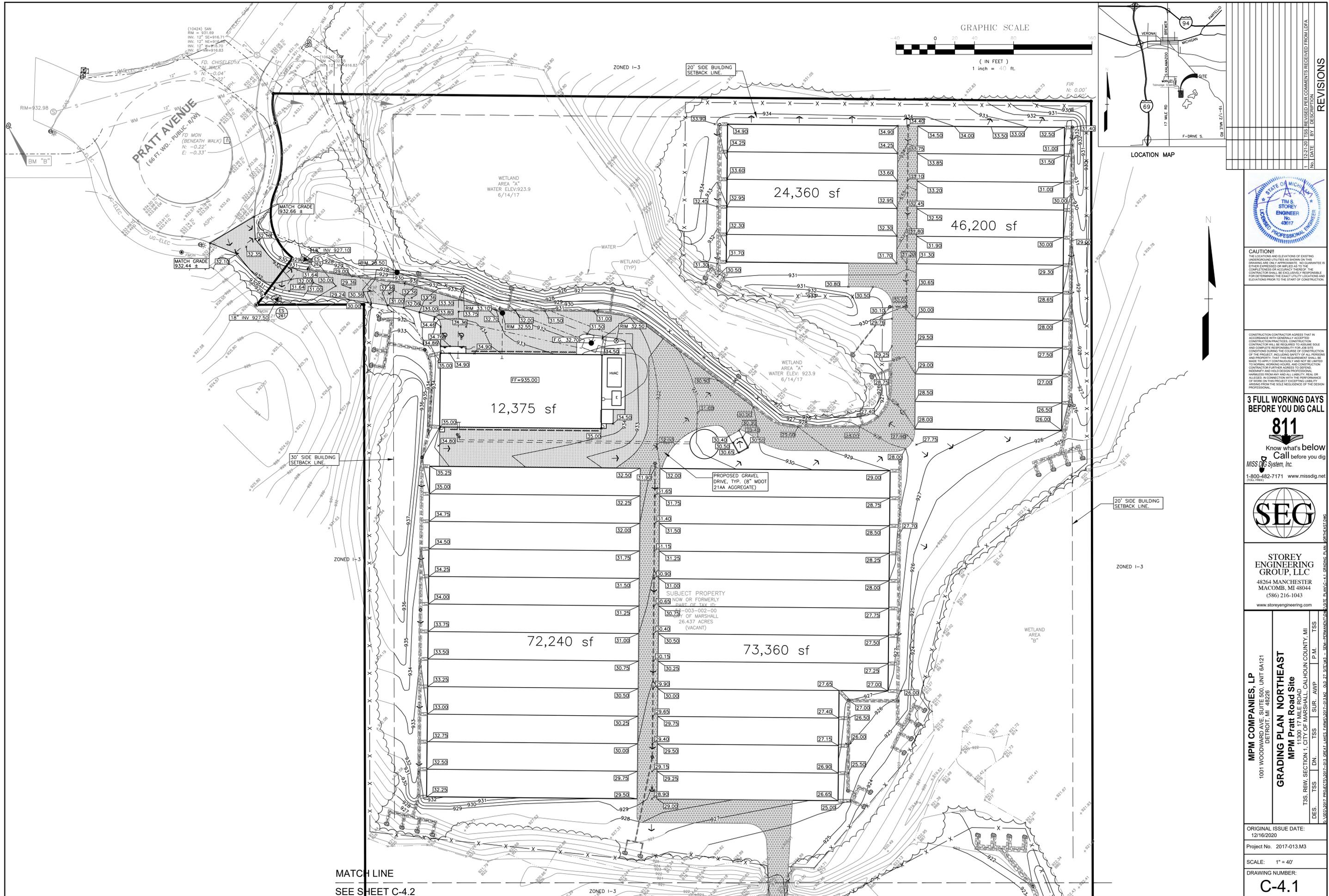
REVISIONS











NO.	DATE	BY	DESCRIPTION
1	12/16/2020	TSS	ISSUE FOR COMMENTS RECEIVED FROM LDFA
2	12/16/2020	TSS	ISSUE FOR COMMENTS RECEIVED FROM LDFA



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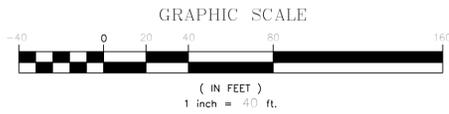
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 (586) 216-1043  
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MPM COMPANIES, LP	TSS
1001 WOODWARD AVE, SUITE 500, UNIT 6A121	P.M.
DETROIT, MI 48226	
<b>GRADING PLAN NORTHEAST</b>	
<b>MPM Pratt Road Site</b>	
11300 - 17 MILE ROAD	
TSS, R&W, SECTION 1, CITY OF MARSHALL, CALHOUN COUNTY, MI	
DES. TSS	TSS
DN. TSS	SUR. AMP

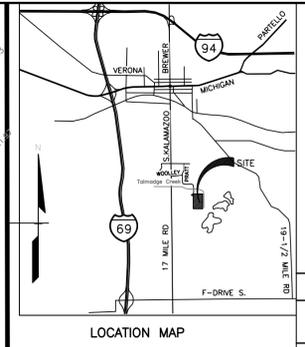
ORIGINAL ISSUE DATE:  
 12/16/2020  
 Project No. 2017-013.M3  
 SCALE: 1" = 40'  
 DRAWING NUMBER:  
**C-4.1**

MATCH LINE  
 SEE SHEET C-4.2

REVISIONS



SEE SHEET C-4.1  
MATCH LINE



NO.	DATE	BY	DESCRIPTION
1	12-16-2020	TSS	ISSUED PER COMMENTS RECEIVED FROM LDFA



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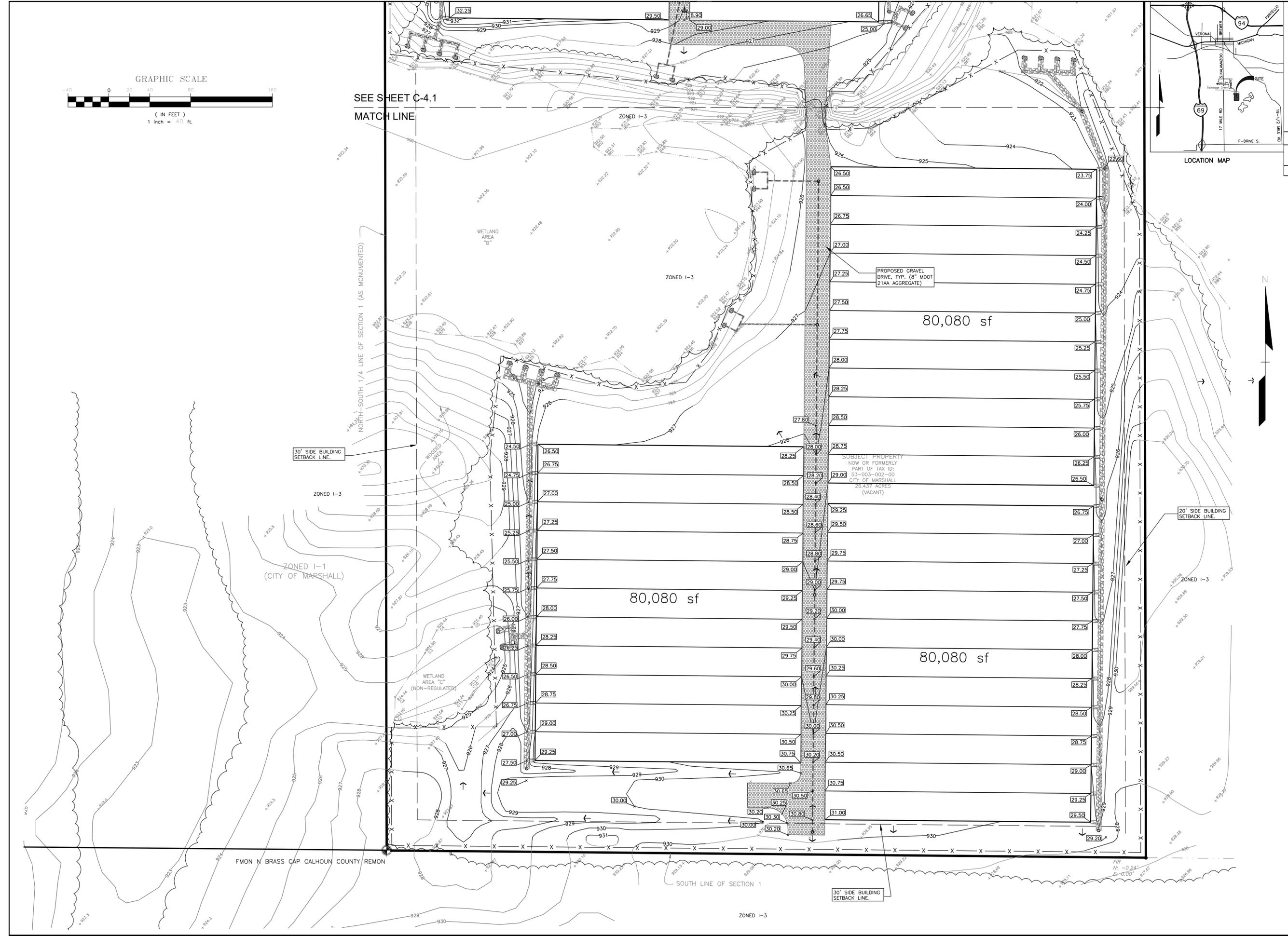
DES.	TSS	DN	TSS	SUR.	AMP	P.M.	TSS
<b>MPM COMPANIES, LP</b> 1001 WOODWARD AVE, SUITE 500, UNIT 6A121 DETROIT, MI 48226 <b>GRADING PLAN SOUTHEAST</b> <b>MPM Pratt Road Site</b> 11300 17 MILE ROAD N. CALHOUN COUNTY, MI TSS, RBW, SECTION 1, CITY OF MARSHALL, CALHOUN COUNTY, MI 8/3/2017 PROJECT/2017-011 GREAT LAKES ZAMBUSI-DAMP, C/D 27, SUT.M.A., - S.M.-POMANSKI/DATE: P.M.V.C.-4.2, GRADING PLAN SOUTHEAST							

ORIGINAL ISSUE DATE:  
12/16/2020

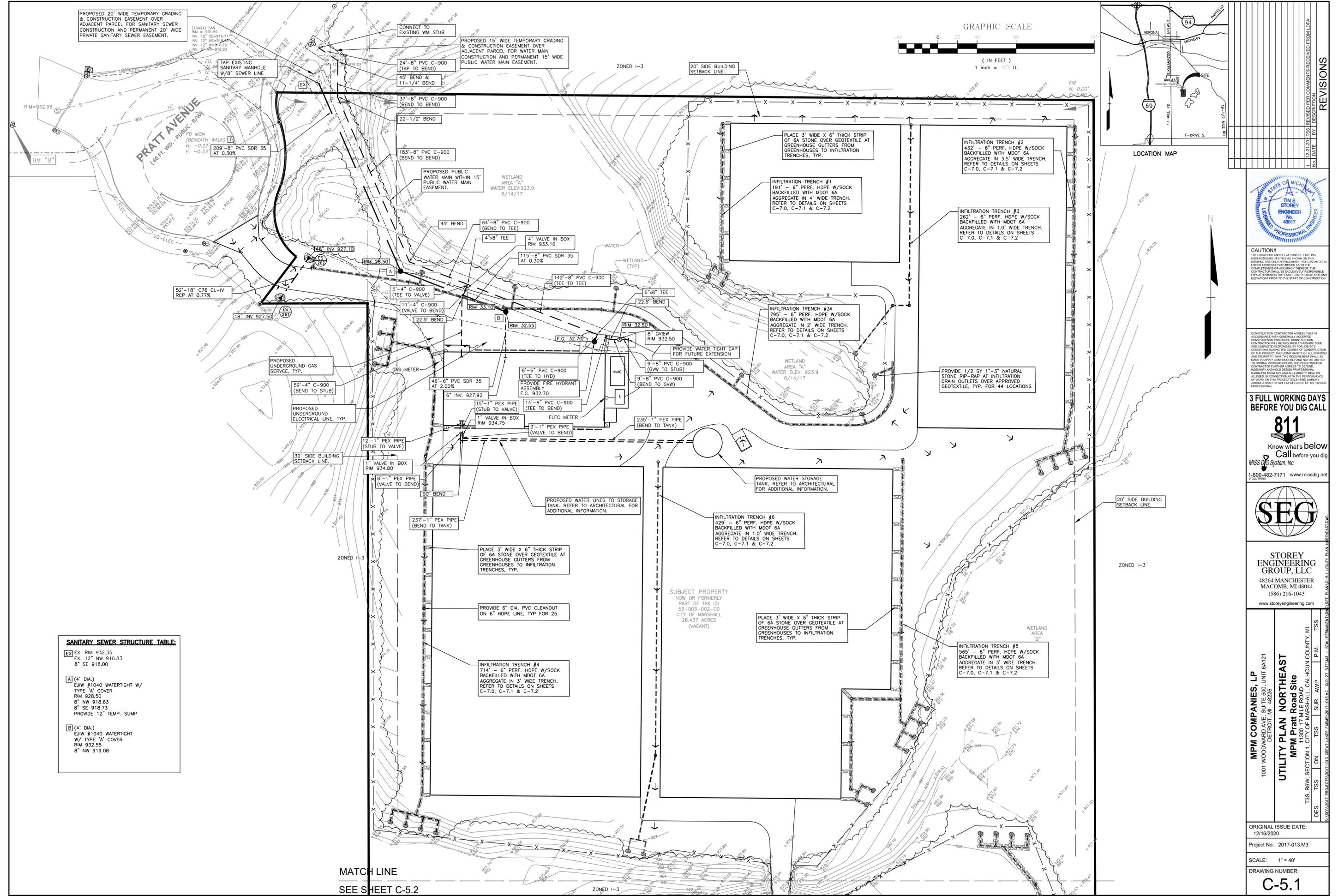
Project No. 2017-013.M3

SCALE: 1" = 40'

DRAWING NUMBER:  
**C-4.2**

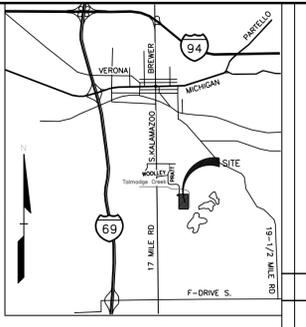
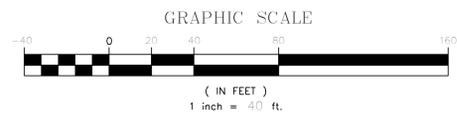


REVISIONS



PROPOSED 20' WIDE TEMPORARY GRADING & CONSTRUCTION EASEMENT OVER ADJACENT PARCEL FOR SANITARY SEWER CONSTRUCTION AND PERMANENT 20' WIDE PRIVATE SANITARY SEWER EASEMENT.

PROPOSED 15' WIDE TEMPORARY GRADING & CONSTRUCTION EASEMENT OVER ADJACENT PARCEL FOR WATER MAIN CONSTRUCTION AND PERMANENT 15' WIDE PUBLIC WATER MAIN EASEMENT.



NO.	DATE	BY	REVISIONS
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**STATE OF MICHIGAN**  
**TIM S. STOREY**  
 LICENSED PROFESSIONAL ENGINEER  
 No. 43617

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**SANITARY SEWER STRUCTURE TABLE:**

<b>EX</b>	EX. RIM 932.35 EX. 12" NW 916.83 8" SE 918.00
<b>A</b>	(4' DIA.) EJW #1040 WATERTIGHT W/ TYPE 'A' COVER RIM 928.50 8" NW 918.63 8" SE 918.73 PROVIDE 12" TEMP. SUMP
<b>B</b>	(4' DIA.) EJW #1040 WATERTIGHT W/ TYPE 'A' COVER RIM 932.55 8" NW 919.08

MATCH LINE  
 SEE SHEET C-5.2

**MPM COMPANIES, LP**  
 1001 WOODWARD AVE. SUITE 500, UNIT 6A121  
 DETROIT, MI 48226

**UTILITY PLAN NORTHEAST**  
**MPM Pratt Road Site**  
 11300, 17 MILE ROAD  
 SECTION 1, CITY OF MARSHALL, CALHOUN COUNTY, MI

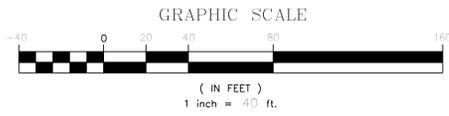
DES.	TSS	DN.	TSS	SUR.	AMP	P.M.	TSS

ORIGINAL ISSUE DATE:  
12/16/2020

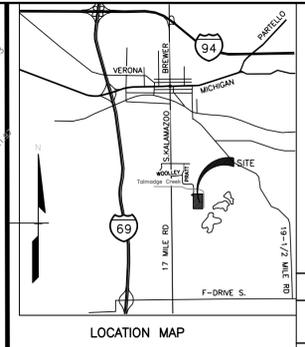
Project No. 2017-013.M3

SCALE: 1" = 40'

DRAWING NUMBER:  
**C-5.1**



SEE SHEET C-5.1  
MATCH LINE



NO.	DATE	BY	DESCRIPTION
1	02-01-2017	TSS	ISSUED PER COMMENTS RECEIVED FROM LDFA



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<b>MPM COMPANIES, LP</b> 1001 WOODWARD AVE, SUITE 500, UNIT 6A121 DETROIT, MI 48226	<b>UTILITY PLAN SOUTHEAST</b> MPM Pratt Road Site 11300, 17 MILE ROAD SECTION 1, CITY OF MARSHALL, CALHOUN COUNTY, MI	TSS DN	TSS SUR	AMP P.M.	TSS
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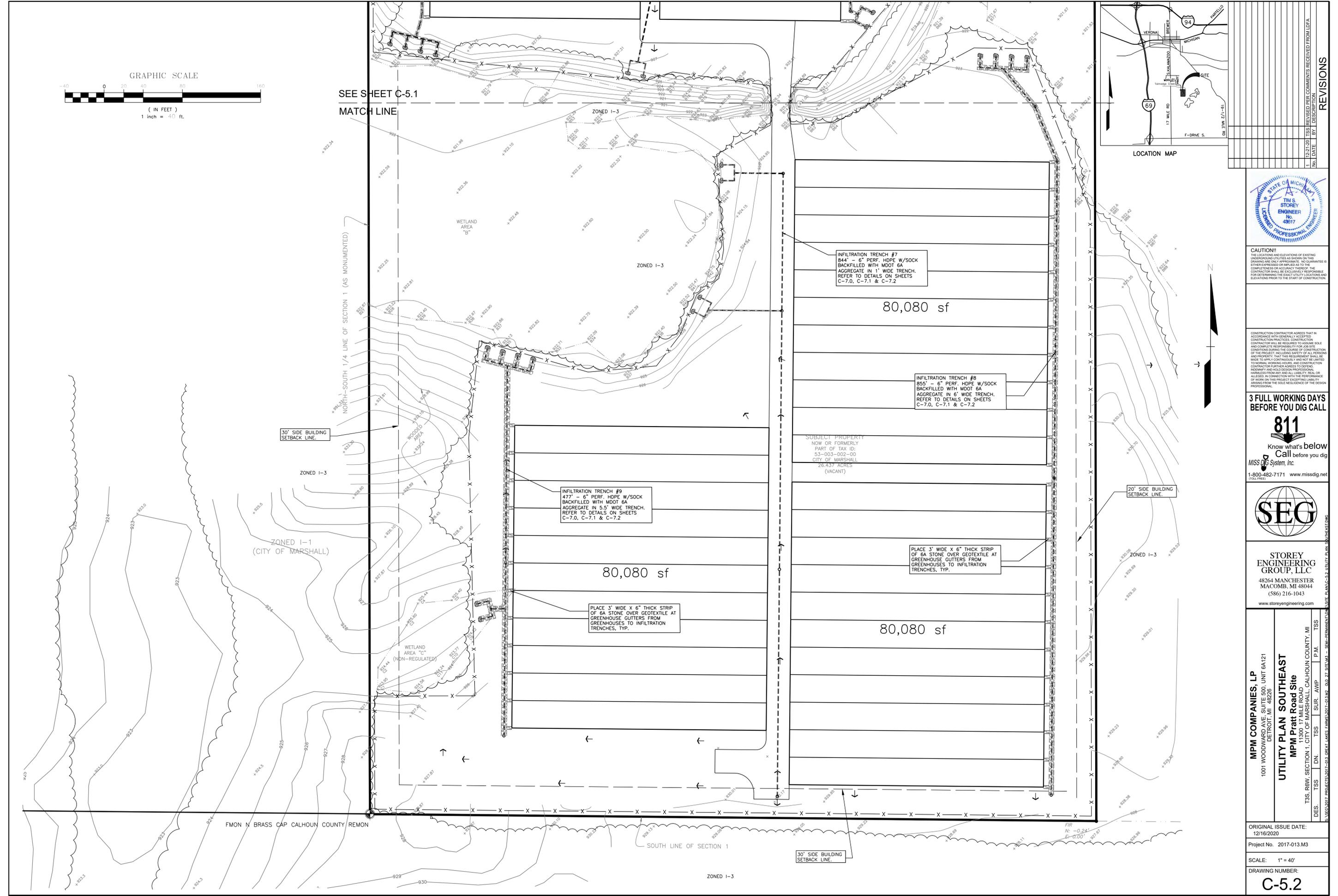
ORIGINAL ISSUE DATE:  
12/16/2020

Project No. 2017-013.M3

SCALE: 1" = 40'

DRAWING NUMBER:  
**C-5.2**

REVISIONS



INFILTRATION TRENCH #7  
844' - 6" PERF. HDPE W/SOCK  
BACKFILLED WITH MDOT 6A  
AGGREGATE IN 1' WIDE TRENCH.  
REFER TO DETAILS ON SHEETS  
C-7.0, C-7.1 & C-7.2

80,080 sf

INFILTRATION TRENCH #8  
855' - 6" PERF. HDPE W/SOCK  
BACKFILLED WITH MDOT 6A  
AGGREGATE IN 6" WIDE TRENCH.  
REFER TO DETAILS ON SHEETS  
C-7.0, C-7.1 & C-7.2

SUBJECT PROPERTY  
NOW OR FORMERLY  
PART OF TAX ID:  
53-003-002-00  
CITY OF MARSHALL  
26.437 ACRES  
(VACANT)

INFILTRATION TRENCH #9  
477' - 6" PERF. HDPE W/SOCK  
BACKFILLED WITH MDOT 6A  
AGGREGATE IN 5.5' WIDE TRENCH.  
REFER TO DETAILS ON SHEETS  
C-7.0, C-7.1 & C-7.2

80,080 sf

PLACE 3' WIDE X 6" THICK STRIP  
OF 6A STONE OVER GEOTEXTILE AT  
GREENHOUSE GUTTERS FROM  
GREENHOUSES TO INFILTRATION  
TRENCHES, TYP.

80,080 sf

PLACE 3' WIDE X 6" THICK STRIP  
OF 6A STONE OVER GEOTEXTILE AT  
GREENHOUSE GUTTERS FROM  
GREENHOUSES TO INFILTRATION  
TRENCHES, TYP.

30' SIDE BUILDING  
SETBACK LINE.

20' SIDE BUILDING  
SETBACK LINE.

FMON N BRASS CAP CALHOUN COUNTY REMON

SOUTH LINE OF SECTION 1

ZONED I-3

**GENERAL NOTES:**

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF MARSHALL & CALHOUN COUNTY WATER RESOURCE COMMISSIONER.
- ALL NECESSARY PERMITS, BONDS AND INSURANCES ETC. SHALL BE PAID FOR BY THE CONTRACTOR. THE OWNER SHALL PAY FOR ALL MUNICIPAL INSPECTION FEES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE PERIODS OF CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO THE JOB.
- PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT MISS DIG (1-800-482-7171) TO VERIFY THE LOCATION OF ANY EXISTING UNDERGROUND UTILITIES AND SHALL NOTIFY OTHER REPRESENTATIVES OF OTHER UTILITIES IN THE VICINITY OF THE WORK.
- ALL PROPERTIES OR FACILITIES IN THE SURROUNDING AREAS, PUBLIC OR PRIVATE, DESTROYED OR OTHERWISE DISTURBED DUE TO CONSTRUCTION, SHALL BE REPLACED AND/OR RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR.
- MANHOLE, CATCH BASIN, GATE VALVES AND HYDRANT FINISH GRADES MUST BE CLOSELY CHECKED AND APPROVED BY THE ENGINEER BEFORE THE CONTRACTOR'S WORK IS CONSIDERED COMPLETE.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF OFF-SITE ANY TREES, BRUSH, STUMPS, TRASH OR OTHER UNWANTED DEBRIS AT THE OWNER'S DIRECTION, INCLUDING OLD BUILDING FOUNDATIONS AND FLOORS. BURNING OF TRASH, STUMPS OR OTHER DEBRIS SHALL NOT BE PERMITTED.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, LIGHTS AND TRAFFIC CONTROL DEVICES TO PROTECT THE WORK AND SAFELY CONTAIN TRAFFIC IN ACCORDANCE WITH "MMUTCD".
- ALL EXCAVATIONS SHALL BE SLOPED, SHORED OR BRACED IN ACCORDANCE WITH MI-OSHA REQUIREMENTS. THE CONTRACTOR SHALL PROVIDE AN ADEQUATELY CONSTRUCTED AND BRACED SHORING SYSTEM FOR EMPLOYEES WORKING IN AN EXCAVATION THAT MAY EXPOSE EMPLOYEES TO THE DANGER OF MOVING GROUND.
- ALL REFERENCES TO M.D.O.T. SPECIFICATIONS ARE TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MDO STANDARD SPECIFICATIONS FOR CONSTRUCTION.

**PAVING NOTES:**

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF MARSHALL AND MDO, WHERE APPLICABLE.
- IN AREAS WHERE NEW PAVEMENTS ARE BEING CONSTRUCTED, THE TOPSOIL AND SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED PRIOR TO PAVEMENT CONSTRUCTION.
- SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED TO REPLACE MATERIALS SUSCEPTIBLE TO FROST HEAVING AND UNSTABLE SOIL CONDITIONS. ANY EXCAVATIONS THAT MAY BE REQUIRED BELOW THE TOPSOIL IN FILL SECTIONS OR BELOW SUBGRADE IN CUT SECTIONS, WILL BE CLASSIFIED AS SUBGRADE UNDERCUTTING.
- SUBGRADE UNDERCUTTING SHALL BE PERFORMED WHERE NECESSARY AND THE EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ANY SUBGRADE UNDERCUTTING SHALL BE BACKFILLED WITH SAND OR OTHER SIMILAR APPROVED MATERIAL. BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM UNIT WEIGHT (PER ASTM D-1557) UNLESS OTHERWISE SPECIFIED.
- BACKFILL UNDER PAVED AREAS SHALL BE AS SPECIFIED ON DETAILS.
- ANY SUB-GRADE WATERING REQUIRED TO ACHIEVE REQUIRED DENSITY SHALL BE CONSIDERED INCIDENTAL TO THE JOB.

**GENERAL UTILITY NOTES:**

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF MARSHALL AND M.D.O.T.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES, WHICH MIGHT AFFECT THIS JOB.
- ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
- WHENEVER EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER TO CENTER, AROUND PERIPHERY OF OPENING TO CREATE A PLANE OF WEAKNESS JOINT BEFORE BREAKING SECTION OUT.
- EXACT GRADES AND DEPTHS OF UTILITIES ARE TO BE CHECKED CLOSELY WITH THE FIELD ENGINEER PRIOR TO INSTALLATION.

**STORM SEWER NOTES:**

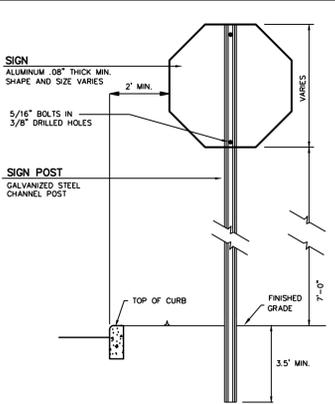
- ALL STORM SEWER SHALL BE INSTALLED ON STANDARD BEDDING OR BETTER.
- JOINTS FOR ALL STORM SEWER 12" AND LARGER SHALL BE PREMIUM JOINT TONGUE AND GROOVE WITH RUBBER GASKETS, UNLESS SPECIFIED OTHERWISE.
- ALL STORM SEWER 12" AND LARGER SHALL BE RCP CLASS IV OR HDPE ADS N-12 OR APPROVED EQUAL, UNLESS OTHERWISE NOTED.
- CULVERTS SHALL BE ALUMINIZED TYPE II CSP (OR HDPE ADS N-12) WITH BANDED JOINTS MEETING MANUFACTURER'S SPECS.
- STORM LEADS SHALL BE PVC SCH 40 WITH GLUED JOINTS BEDDED ON SAND OR STONE AGGREGATE.

**WATER MAIN NOTES:**

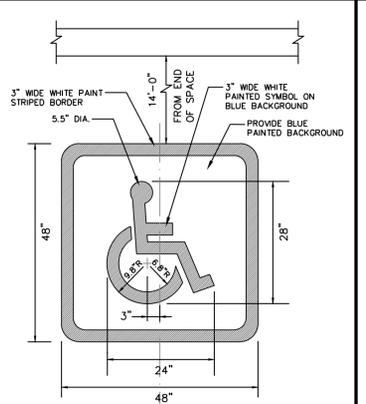
- ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 6'0" BELOW FINISH GRADE. WHEN WATER MAINS MUST DIP TO PASS UNDER A STORM SEWER OR SANITARY SEWER, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE KEPT TO A MINIMUM LENGTH BY THE USE OF VERTICAL TWENTY TWO AND A HALF (22.5) DEGREE BENDS, PROPERLY ANCHORED, MAINTAIN MIN. 18" VERTICAL SEPARATION BETWEEN WATER AND SEWER LINES.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF MARSHALL.
- ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
- ALL TEE'S, BENDS, CONNECTIONS, ETC. ARE CONSIDERED INCIDENTAL TO THE JOB.
- PHYSICAL CONNECTIONS SHALL NOT BE MADE BETWEEN EXISTING AND NEW WATER MAINS UNTIL TESTING IS SATISFACTORILY COMPLETED.
- MAINTAIN 10' HORIZONTAL CLEARANCE BETWEEN OUTER EDGE OF WATER MAIN AND ANY SANITARY SEWER OR STRUCTURE.
- ALL WATER MAIN SHALL BE DUCTILE IRON CLASS 52 OR PVC C-900.
- REFER TO THE CITY OF MARSHALL STANDARD SPECIFICATIONS AND DETAILS FOR WATER MAIN CONSTRUCTION FOR ADDITIONAL INFORMATION.

**SANITARY SEWER NOTES:**

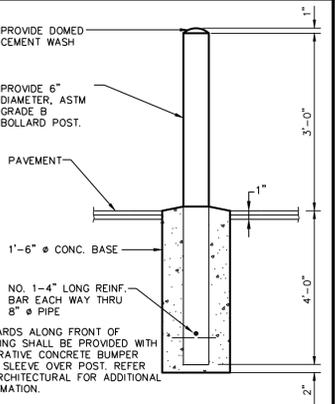
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF MARSHALL AND CALHOUN COUNTY.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT AFFECT THIS JOB.
- ALL TRENCHES UNDER OR WITHIN THE 45' ZONE OF INFLUENCE LINE OR 5 FEET OF EXISTING AND/OR PROPOSED PAVEMENT SHALL BE BACKFILLED WITH SAND AND COMPACTED TO 95% OF MAXIMUM DENSITY PER ASTM D-1557.
- ALL SEWERS SHALL BE PLACED ON MIN. 4" SAND OR GRAVEL BEDDING WHICH SHALL EXTEND TO MIN. 12" OVER TOP OF THE PIPE AND SHALL BE COMPACTED IN MIN. 6" LAYERS.
- A MINIMUM OF 18" OF CLEARANCE MUST BE MAINTAINED AT ALL CROSSINGS BETWEEN SANITARY, WATER MAIN AND STORM SEWER, UNLESS PROVIDED WITH A CONCRETE CRADLE.
- NO SANITARY SEWER INSTALLATION OR PORTION THEREOF SHALL HAVE INFILTRATION EXCEEDING 200 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER 24 HOUR PERIOD. JOINTS FOR P.V.C. SOLID WALL OR RUSS PIPE SHALL BE ELASTOMETRIC (RUBBER GASKET) MEETING A.S.T.M. D-3212.
- SANITARY SEWER MAIN AND LEADS 8" DIAMETER & SMALLER SHALL BE CONSTRUCTED OF P.V.C. SOLID WALL PIPE CONFORMING TO ASTM D-3034, SDR 35.
- SEE CITY OF MARSHALL STANDARD SPECIFICATIONS & DETAILS FOR ADDITIONAL INFORMATION.



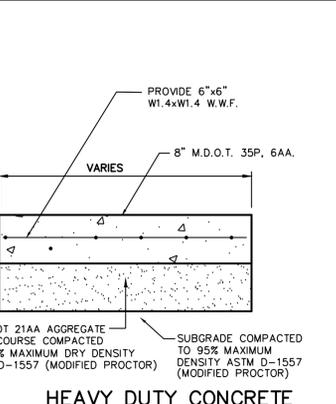
**SIGN AND POST INSTALLATION IN LANDSCAPED AREAS**  
NOT TO SCALE



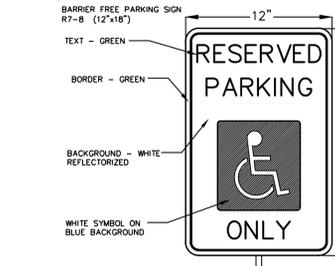
**STANDARD BARRIER FREE SYMBOL FOR PARKING SPACE**  
NOT TO SCALE



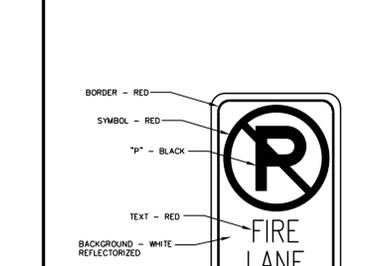
**6\"/>**



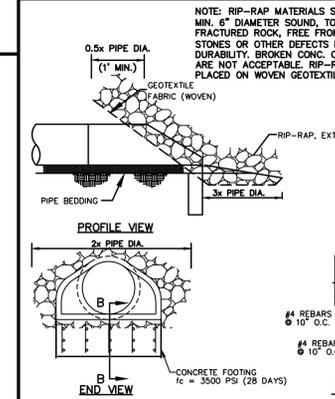
**HEAVY DUTY CONCRETE DETAIL**



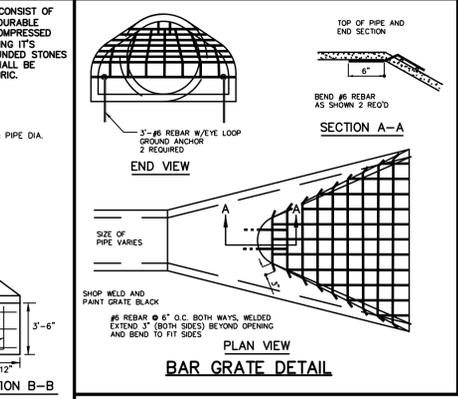
**BARRIER FREE PARKING SIGN DETAIL**  
NOT TO SCALE



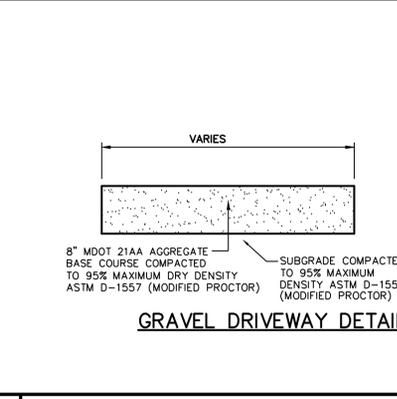
**NO PARKING SIGN DETAIL**  
NOT TO SCALE



**END SECTION WITH FOOTING & RIP-RAP**  
N.T.S.



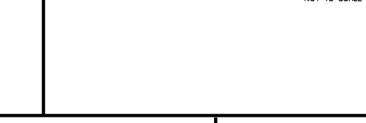
**BAR GRATE DETAIL**



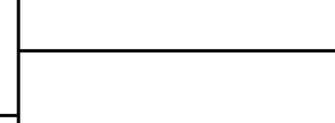
**GRAVEL DRIVEWAY DETAIL**



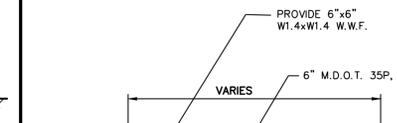
**STOP SIGN DETAIL**  
NOT TO SCALE



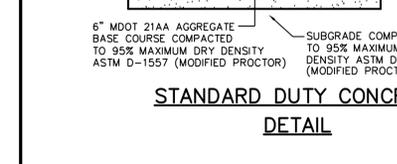
**ON-SITE CONCRETE SIDEWALK**  
N.T.S.



**STANDARD DUTY ASPHALT PAVEMENT SECTION**  
NOT TO SCALE



**STANDARD DUTY CONCRETE DETAIL**



**INTEGRAL CURB AND WALK**  
NOT TO SCALE

NO.	DATE	BY	REVISIONS
1	12-21-20	TSS	ISSUED PER COMMENTS RECEIVED FROM LDFA



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CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION AND PROPERTY THAT THIS REQUIREMENT SHALL BE MAINTAINED THROUGHOUT THE PROJECT AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARBORERS PRIMARY AND SOLICITORS OR ALLIED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

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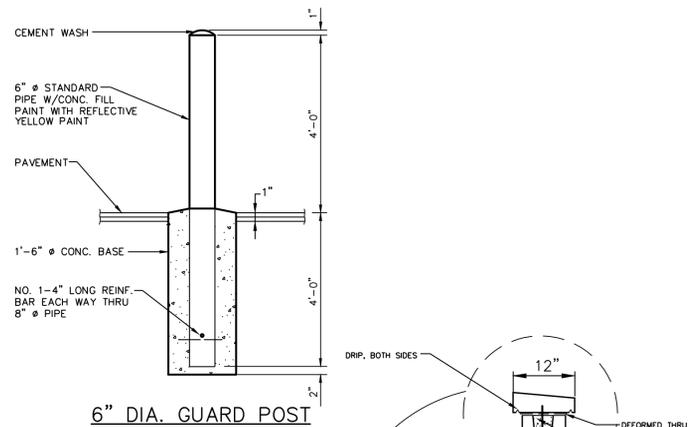
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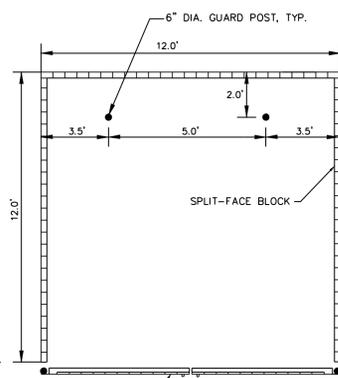
**STOREY ENGINEERING GROUP, LLC**  
48264 MANCHESTER MACOMB, MI 48044  
(586) 216-1043  
www.storeyengineering.com

DES.	TSS	DN.	TSS	SUR.	AMP	P.M.	TSS
<p><b>MPM COMPANIES, LP</b> 1001 WOODWARD AVE. SUITE 500 UNIT 6A121 DETROIT, MI 48226</p> <p><b>NOTES + DETAILS</b> MPM Pratt Road Site 11300 17 MILE ROAD CITY OF MARSHALL, CALHOUN COUNTY, MI</p>							

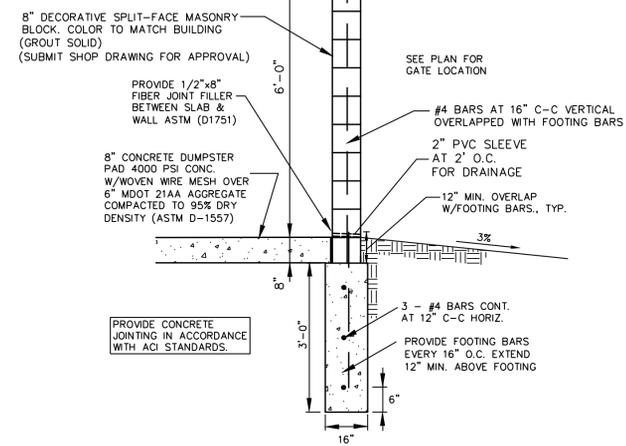
ORIGINAL ISSUE DATE:  
12/16/2020  
Project No. 2017-013.M3  
SCALE: 1" = 30'  
DRAWING NUMBER:  
**C-6.0**



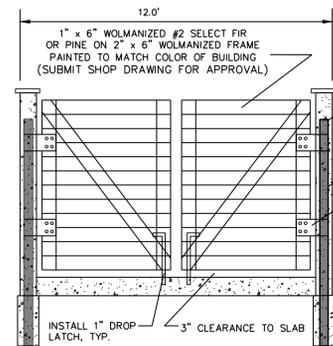
6" DIA. GUARD POST



PLAN VIEW

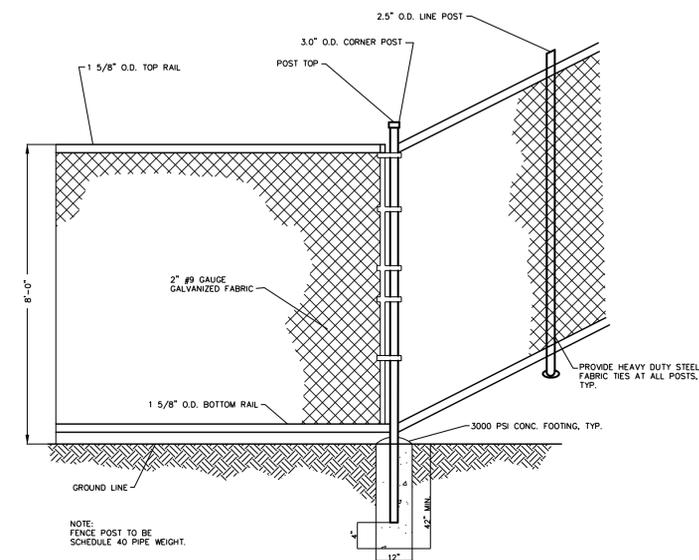


TRASH ENCLOSURE WALL CROSS-SECTION

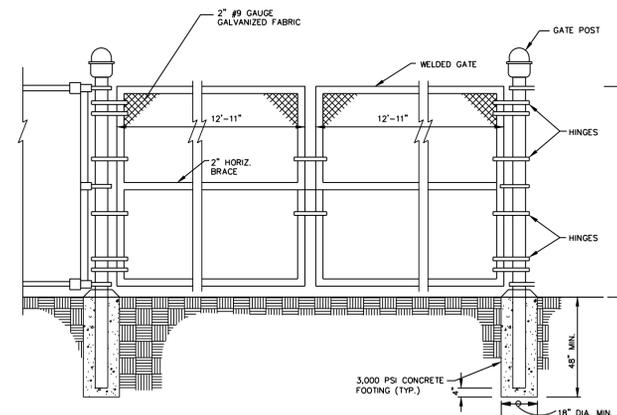


SINGLE GATE TRASH ENCLOSURE DETAIL

TRASH ENCLOSURE DETAILS (N.T.S.)



CHAIN LINK FENCE DETAIL NOT TO SCALE



MANUAL CHAIN LINK ACCESS GATE NOT TO SCALE

NO.	DATE	BY	DESCRIPTION



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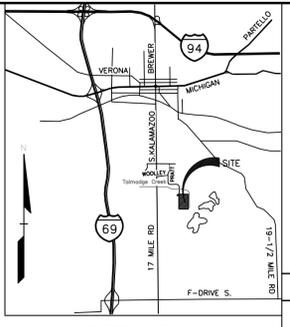
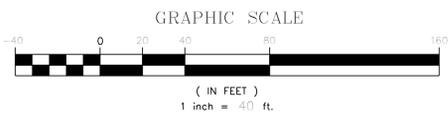


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MPM COMPANIES, LP 1001 WOODWARD AVE. SUITE 500 UNIT 6A121 DETROIT, MI 48226	DES. TSS TSS TSS	DN. TSS	SUR. AMP. TSS	P.M. TSS
<b>DETAILS</b> MPM Pratt Road Site 11300 17 MILE ROAD CITY OF MARSHALL, CALHOUN COUNTY, MI	ORIGINAL ISSUE DATE: 12/16/2020			
Project No. 2017-013.M3				SCALE: 1" = 30'
DRAWING NUMBER: <b>C-6.1</b>				

REVISIONS





NO.	DATE	BY	DESCRIPTION
1	12/16/2020	TSS	ISSUE FOR COMMENTS RECEIVED FROM LDFA
2			
3			
4			
5			
6			
7			
8			
9			
10			



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<b>MPM COMPANIES, LP</b> 1001 WOODWARD AVE, SUITE 500, UNIT 6A121 DETROIT, MI 48226 <b>DRAINAGE PLAN NORTHEAST</b> <b>MPM Pratt Road Site</b> 11300 17 MILE ROAD TSS, R6W, SECTION 1, CITY OF MARSHALL, CALHOUN COUNTY, MI 8/15/2017 PROJECT/2017-013 GREAT LAKES FARMS/2017-03AMP, C.D. 27, 517A3, - SEW-FORMANDRA/SITE PLAN/C-7.1 DRAINAGE PLAN NORTHEAST							

ORIGINAL ISSUE DATE:  
 12/16/2020  
 Project No. 2017-013.M3  
 SCALE: 1" = 40'  
 DRAWING NUMBER:  
**C-7.1**

MATCH LINE  
 SEE SHEET C-7.2

REVISIONS





client:  
**MPM Companies, LP**  
 1001 Woodward Ave,  
 Suite 500, Unit 6A121  
 Detroit, Michigan  
 48226

project:  
**MPM Pratt Road Cultivation Facility**  
 project location:  
 City of Marshall,  
 Michigan  
 11300 17 Mile Road

sheet title:  
**landscape planting detail**

job no./issue/revision date:  
 LS20.105.12 SPA 12/21/2020

drawn by:  
**JP, KM**

checked by:  
**FP**  
 date:  
**12-11-2020**

notice:  
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The location and elevations of existing underground utilities as shown on this drawing are only approximate; no guarantee is either expressed or implied as to the completeness of accuracy; contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of construction.

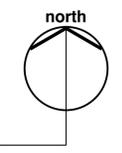
project no:  
**LS20.105.12**

sheet no:  
**LS-1** of 2

# landscape plan for: MPM Pratt Road Cultivation Facility City of Marshall, Michigan

**note:**

unless noted otherwise, numerical value on landscape quantities specified on plan take precedence over graphic representation.



scale: 0' 50' 100' 200' 300'  
 1" = 100'-0"

**general landscape notes:**

- LANDSCAPE CONTRACTOR SHALL VISIT THE SITE, INSPECT EXISTING CONDITIONS, REVIEW PROPOSED PLANTINGS AND RELATED WORK, CONTACT THE OWNER AND/OR LANDSCAPE ARCHITECT WITH ANY CONCERNS OR DISCREPANCY BETWEEN THE PLAN, PLANT MATERIAL LIST, AND/OR SITE CONDITIONS.
- PRIOR TO BEGINNING OF CONSTRUCTION ON ANY WORK, CONTRACTORS SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES, GAS, ELECTRIC, TELEPHONE, CABLE TO BE LOCATED BY CONTACTING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. COORDINATE ALL RELATED WORK ACTIVITIES WITH OTHER TRADES AND REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER PRIOR TO COMMENCING.
- NUMERICAL VALUE ON THE LANDSCAPE QUANTITIES SPECIFIED ON THE PLAN TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION. VERIFY ANY CONCERN-DISCREPANCY WITH LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION AND PLANT MATERIAL LOCATION TO BE ADJUSTED ON SITE IF NECESSARY.
- ALL SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED BY CITY OF MARSHALL AND LANDSCAPE ARCHITECT.
- ALL LARGE TREES AND EVERGREENS TO BE STAKED, GUYED AND WRAPPED AS DETAILED, SHOWN ON PLAN.
- PLANT BEDS TO BE DRESSED WITH MIN. 4" OF FINELY DOUBLE SHREDDED HARD BARK MULCH.
- DIG SHRUB PITS 1' LARGER THAN SHRUB ROOT BALLS AND TREE PITS 2' LARGER THAN ROOT BALL. BACK FILL WITH ONE PART TOP SOIL AND ONE PART SOIL FROM EXCAVATED PLANTING HOLE.
- NATURAL COLOR, FINELY SHREDDED HARDWOOD BARK MULCH REQUIRED FOR ALL PLANTINGS.
- REMOVE ALL TWINE, WIRE AND BURLAP FROM TREE AND SHRUB EARTH BALLS, AND FROM TREE TRUNKS. 4" THICK BARK MULCH FOR TREES IN 4" DIA. CIRCLE WITH 3" FILLER AWAY FROM TRUNK. 4" THICK BARK MULCH FOR SHRUBS AND 4" THICK BARK MULCH FOR PERENNIALS.
- PLANT MATERIAL QUALITY & INSTALLATION SHALL BE IN ACCORDANCE WITH THE CURRENT AMERICAN ASSOCIATION OF NURSESMEN LANDSCAPE STANDARDS.
- PROVIDE PEAT 60D FOR ALL NEW AND DISTURBED LAWN AREAS UNLESS NOTED OTHERWISE.
- ALL PLANTING AREAS TO BE PREPARED WITH APPROPRIATE SOIL MIXTURES AND FERTILIZER BEFORE PLANT INSTALLATION.
- PLANT TREES AND SHRUBS GENERALLY NO CLOSER THAN THE FOLLOWING DISTANCES FROM SIDEWALKS, CURBS AND PARKING STALLS:
  - SHADE TREES \_\_\_\_\_ 5 FT.
  - ORIENTAL AND EVERGREEN TREES \_\_\_\_\_ 10 FT. (CRAB, FINE, SPRUCE, ETC.)
  - SHRUBS THAT ARE LESS THAN 1 FOOT TALL AND WIDE AT MATURITY \_\_\_\_\_ 2 FT.
- NO TREES OR EVERGREENS TO BE INSTALLED OVER ANY PROPOSED OR EXISTING UTILITY LINES AS SHOWN ON THE OVERALL LANDSCAPE PLAN. SEE ENGINEERING PLANS FOR LOCATION AND DETAILS.
- WATERING OF ALL PLANTS AND TREES TO BE PROVIDED IMMEDIATELY AND MULCHING WITHIN 24 HOURS AFTER INSTALLATION.
- ALL TREE PITS TO BE TESTED FOR PROPER DRAINAGE PRIOR TO TREE PLANTING. PROVIDE APPROPRIATE DRAINAGE SYSTEM AS REQUIRED IF THE TREE PIT DOES NOT DRAIN SUFFICIENTLY.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE PLANT MATERIALS AND IRRIGATION INSTALLATION FOR A PERIOD OF (2) TWO YEARS BEGINNING AFTER THE COMPLETION OF LANDSCAPE INSTALLATION DATE APPROVED BY THE CITY OR LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE DURING AND AT THE END OF THE GUARANTEE PERIOD, ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINED BY THE TOWNSHIP OR LANDSCAPE ARCHITECT, WITHOUT COST TO THE OWNER.

**landscape maintenance notes:**

- LANDSCAPE MAINTENANCE PROCEDURES AND FREQUENCIES TO BE FOLLOWED SHALL BE SPECIFIED ON THE LANDSCAPE PLAN, ALONG WITH THE MANNER IN WHICH THE EFFECTIVENESS, HEALTH AND INTENDED FUNCTIONS OF THE VARIOUS LANDSCAPE AREAS ON THE SITE WILL BE ENSURED.
- LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE FROM DEBRIS AND REFUSE.
  - PRUNING SHALL BE MINIMAL AT THE TIME OF INSTALLATION, ONLY TO REMOVE DEAD OR DISEASED BRANCHES. SUBSEQUENT PRUNING SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PURPOSE.
  - ALL DEAD OR DISEASED PLANT MATERIAL SHALL BE REMOVED AND REPLACED WITHIN SIX (6) MONTHS AFTER IT DIES OR IN THE NEXT PLANTING SEASON, WHICHEVER OCCURS FIRST. THE PLANTING SEASON FOR DECIDUOUS PLANTS SHALL BE BETWEEN MARCH 15 AND NOVEMBER 15 OR UNTIL THE PREPARED SOIL BECOMES FROZEN. THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1. PLANT MATERIAL INSTALLED TO REPLACE DEAD OR DISEASED MATERIAL SHALL BE AS CLOSE AS PRACTICAL TO THE SIZE OF THE MATERIAL IT IS INTENDED TO REPLACE.
  - THE APPROVED LANDSCAPE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN APPROVAL, UNLESS OTHERWISE APPROVED IN ACCORDANCE WITH THE AFOREMENTIONED PROCEDURES. ANY REVISIONS TO, OR REMOVAL OF, PLANT MATERIALS WILL PLACE THE PARCEL IN NON-CONFORMITY WITH THE APPROVED LANDSCAPE PLAN, AND SHALL BE VIEWED AS A VIOLATION OF THIS ORDINANCE AND THE AGREED UPON TERMS OF THE FINAL SITE PLAN APPROVAL.

**landscape requirements:**

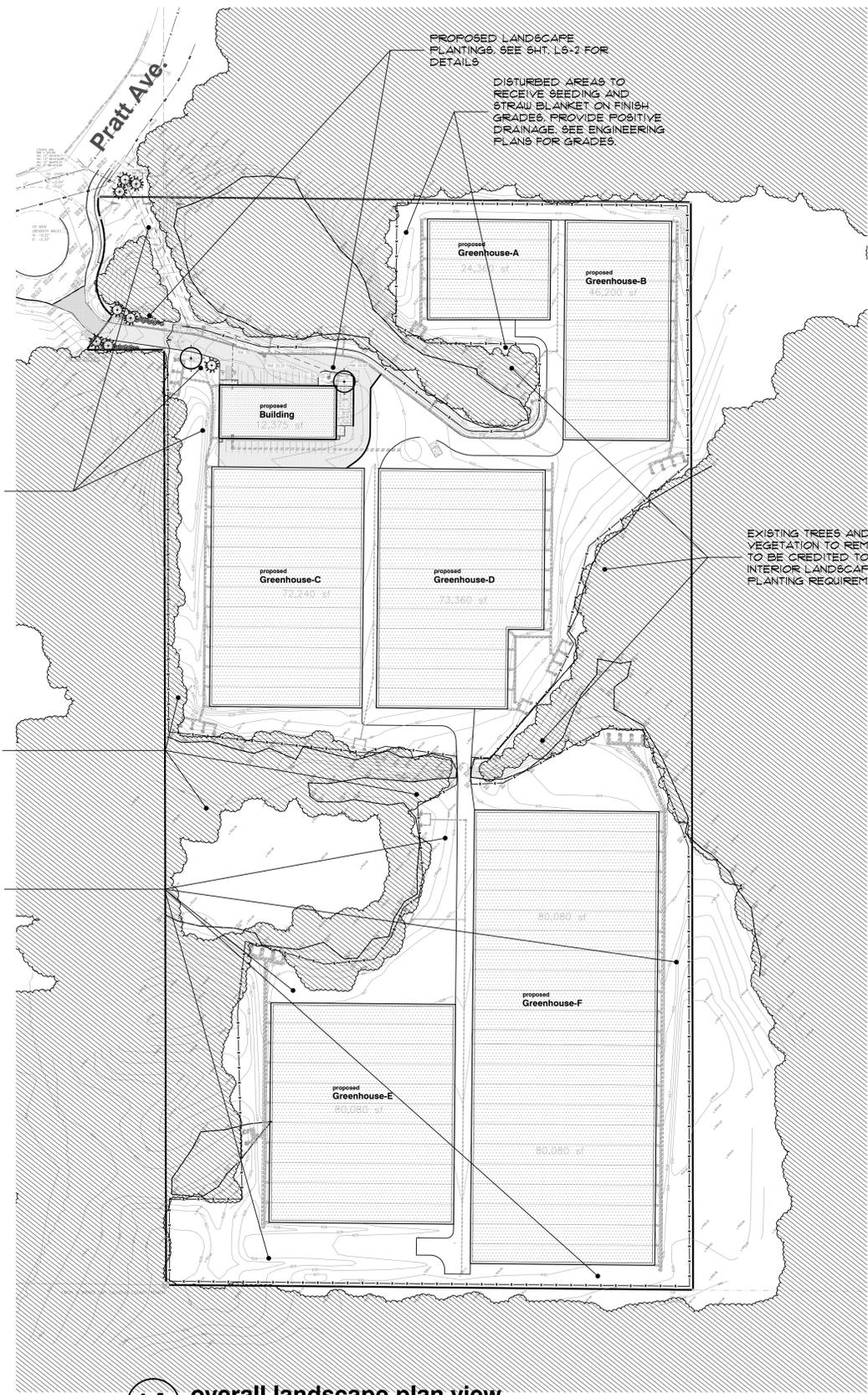
greenbelt landscape	REQUIRED	PROVIDED
TOTAL LF. OF GREENBELT FRONTAGE (17 Mile Road) _____	1,381	
ONE (1) DECIDUOUS OR EVERGREEN TREE PER 40 LF. _____ (176 LF / 40 LF = 4.4 x 1 = 4 TREES)	4	7
FOUR (4) SHRUBS PER 40 LF. _____ (176 LF / 40 LF = 4.4 x 4 = 17.6 SHRUBS)	18	18
parking	REQUIRED	PROVIDED
TOTAL NO. OF PARKING SPACES PROVIDED _____	31	
ONE (1) DECIDUOUS TREE PER 10-SPACES _____ (31 / 10 SPACES = 3.1 TREES)	3	3
interior landscape	REQUIRED	PROVIDED
TOTAL SQ.FT. OF PROPERTY (North Property) _____	26.44 ±	
TAKE 5% OF PROPERTY FOR INTERIOR LANDSCAPE _____ (26.44 x 5% = 1.32 ac x 43,560 = 57,586 sq.ft.)		
ONE (1) DECIDUOUS/ORNAMENTAL/EVERGREEN TREE PER 400 SQ.FT. ( 57,586 SQ.FT. / 400 SQ.FT. = 143.9 TREES)	144	'A'
ONE (1) SHRUB PER 250 SQ.FT. _____ (57,586 SQ.FT. / 250 SQ.FT. = 230.3 SHRUBS)	230	'A'

FOOT NOTE:  
 'A' EXISTING TREES AND VEGETATION TO BE CREDIT TOWARD REQUIRED LANDSCAPE PLANTINGS

DISTURBED AREAS TO RECEIVE SEEDING AND STRAW BLANKET ON FINISH GRADES. PROVIDE POSITIVE DRAINAGE. SEE ENGINEERING PLANS FOR GRADES.

EXISTING TREES AND VEGETATION TO REMAIN AND TO BE CREDITED TOWARD INTERIOR LANDSCAPE PLANTING REQUIREMENTS

DISTURBED AREAS TO RECEIVE SEEDING AND STRAW BLANKET ON FINISH GRADES. PROVIDE POSITIVE DRAINAGE. SEE ENGINEERING PLANS FOR GRADES.



**1A overall landscape plan view**  
 SCALE: 1" = 100'-0"



client:  
**MPM Companies, LP**

1001 Woodward Ave,  
 Suite 500, Unit 6A121  
 Detroit, Michigan  
 48226

project:  
**MPM Pratt  
 Road  
 Cultivation  
 Facility**

project location:  
 City of Marshall,  
 Michigan  
 11300 17 Mile Road

sheet title:  
**landscape planting  
 detail**

job no./issue/revision date:  
 LS20.105.12 SPA 12/21/2020

drawn by:  
**JP, KM**

checked by:  
**FP**

date:  
**12-11-2020**

notice:  
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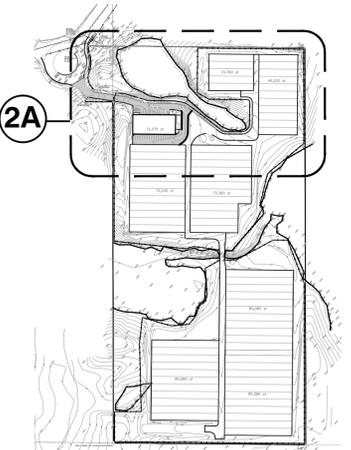
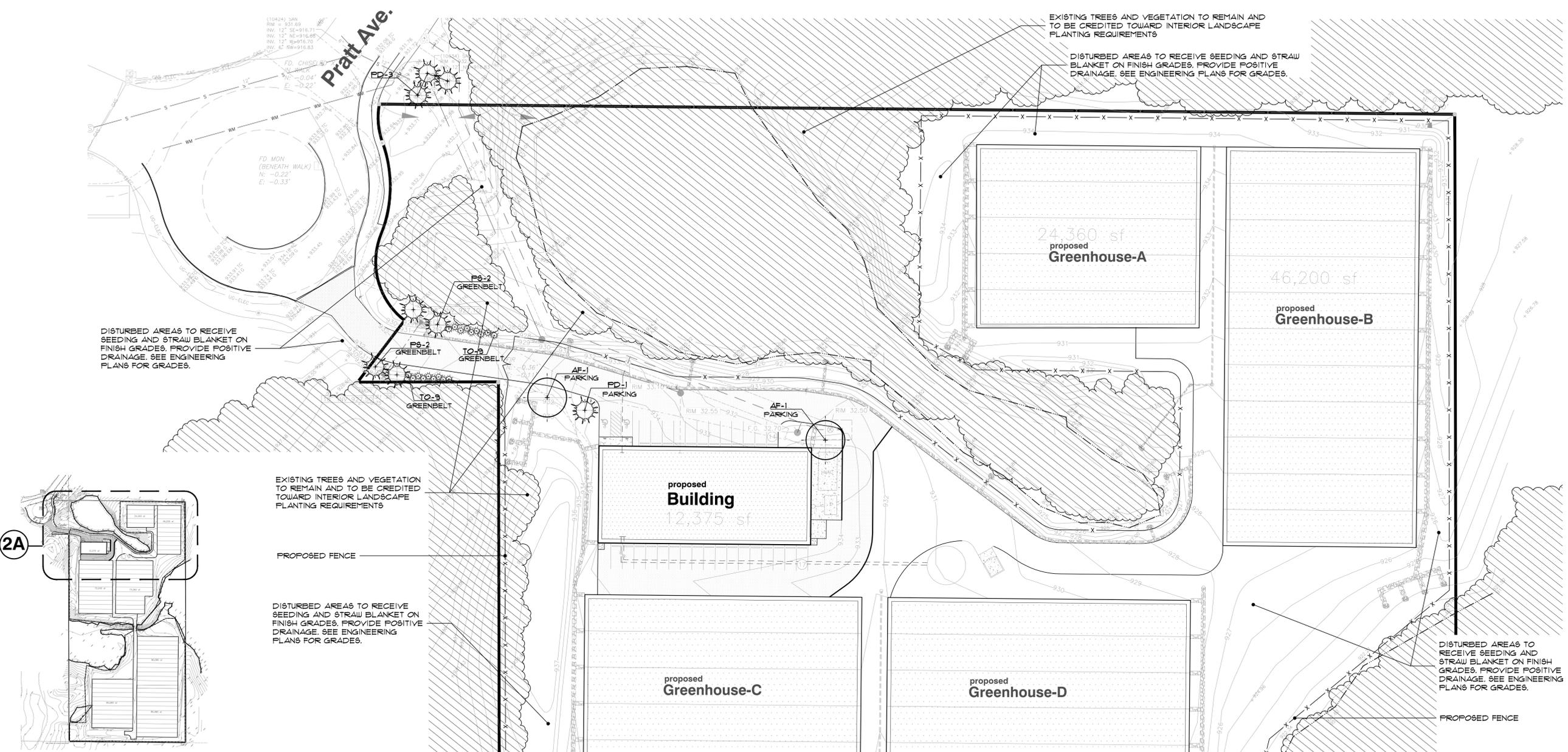
Do Not scale drawings. Use figured dimensions only



The location and elevations of existing underground utilities as shown on this drawing are only approximate; no guarantee is either expressed or implied as to the completeness of accuracy; contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of construction

project no:  
**LS20.105.12**

sheet no:  
**LS-2 of 2**

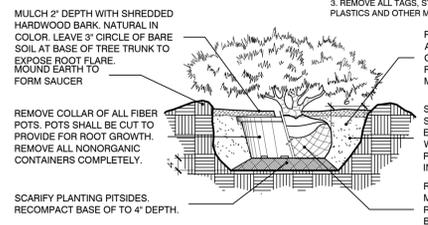


Reference Map  
 no scale

**2A** landscape planting detail  
 scale: 1" = 40' - 0"

**plant material list**

key	quant. LS-2	botanical name	common name	size
AF	2	ACER X FREEMANII 'JEFFERSON'	AUTUMN BLAZE RED MAPLE	3" BB
FS	4	FINUS STROBUS	EASTERN WHITE PINE	8' BB
FD	4	FICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	8' BB
TO	10	THUJA OCCIDENTALIS 'WOODWARDII'	WOODWARDII'S GLODE ARBORVITAE	24" BB



**shrub planting detail**  
 no scale

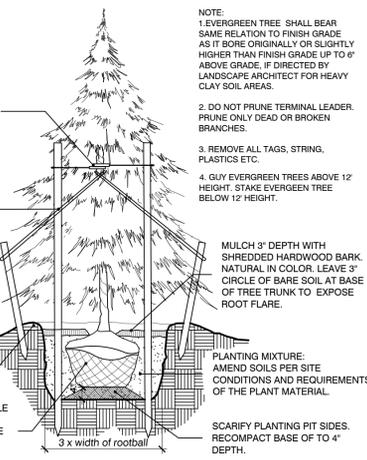
STAKE TREES AT FIRST BRANCH USING 2" x 3" WIDE BELT-LIKE NYLON OR PLASTIC STRAPS. ALLOW FOR SOME MINIMAL FLEXING OF THE TREE. REMOVE AFTER ONE YEAR.

2" x 2" HARDWOOD STAKES. MIN. 36" ABOVE GROUND FOR UPRIGHT, 18" IF ANGLED. DRIVE STAKES A MIN. 18" INTO UNDISTURBED GROUND OUTSIDE ROOTBALL. REMOVE AFTER ONE YEAR.

PLANT TREE SO ROOT FLARE IS AT OR ABOVE SURROUNDING GRADE. REMOVE ROOT BALL DIRT TO EXPOSE FLARE IF NECESSARY AND CUT ANY GIRDLING ROOTS.

REMOVE ALL NON-BIODEGRADABLE MATERIALS COMPLETELY FROM THE ROOTBALL. CUT AND REMOVE WIRE BASKET AND BURLAP FROM TOP HALF OF THE ROOTBALL.

**evergreen planting detail**  
 no scale



NOTE:  
 1. EVERGREEN TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 6" ABOVE GRADE. IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.  
 2. DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.  
 3. REMOVE ALL TAGS, STRING, PLASTICS ETC.  
 4. GUY EVERGREEN TREES ABOVE 12' HEIGHT. STAKE EVERGREEN TREE BELOW 12' HEIGHT.

MULCH 3" DEPTH WITH SHREDDED HARDWOOD BARK. NATURAL IN COLOR. LEAVE 3" CIRCLE OF BARE SOIL AT BASE OF TREE TRUNK TO EXPOSE ROOT FLARE.

PLANTING MIXTURE: AMEND SOILS PER SITE CONDITIONS AND REQUIREMENTS OF THE PLANT MATERIAL.

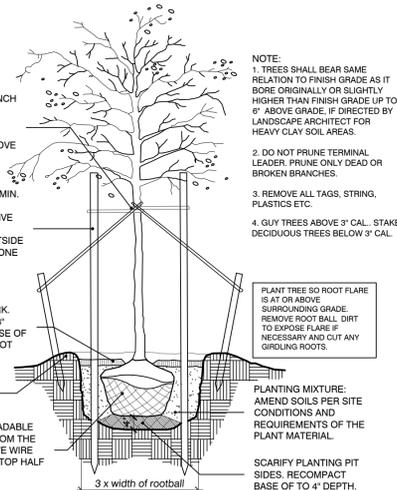
SCARIFY PLANTING PIT SIDES. RECOMPACT BASE OF TO 4" DEPTH.

MULCH 3" DEPTH WITH SHREDDED HARDWOOD BARK. NATURAL IN COLOR. LEAVE 3" CIRCLE OF BARE SOIL AT BASE OF TREE TRUNK TO EXPOSE ROOT FLARE.

PLANTING MIXTURE: AMEND SOILS PER SITE CONDITIONS AND REQUIREMENTS OF THE PLANT MATERIAL.

SCARIFY PLANTING PIT SIDES. RECOMPACT BASE OF TO 4" DEPTH.

**tree planting detail**  
 no scale



## MARSHALL PLANNING COMMISSION

Staff report for February 10, 2021

**To:** Planning Commissioners  
**From:** Trisha Nelson, Planning and Zoning Administrator  
**Subject:** Site Plan #SP21.01 MPM Marshall at 1717 Pratt Avenue for the construction of Hoop Houses

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**Case #:** Site Plan #SP21.01  
**Zoning District:** I-1 Research and Technology  
**Adjacent Zoning:** Surrounded by B-4, except R-2 to the North property line.  
**Parcel:** 53-003-002-20

### SUMMARY

Staff received an initial site plan and special land use application for hoop house construction at 1717 Pratt Avenue on December 22, 2020. Planning Commission received the site at the January 13<sup>th</sup> meeting with additional comments and questions that we have been working through. The following comments were received from planning commission and answers obtained are in red:

- Concern with the screening of the hoop houses. During the summer months there would be no issue; however, the remainder of the year is an issue. **An updated landscape shows they have added evergreen plantings to the site and have proposed adding 8' opaque fabric privacy screen to the fencing around the entire property perimeter.**
- Storm water runoff concerns. **Staff has asked that a soil survey to verify the infiltration rate of water runoff be submitted. Staff will verify this information and if Planning Commission would like to add this as a contingency for approval please do.**
- Site lighting. **Site lighting has been addressed with MPM and the Director of Public Safety has approved with the Security plan submitted. The hoop houses are not energized and will not be lit. MPM can explain the specialized lighting that will be on site.**
- Need for fire suppression. **Staff met with MPM on January 26<sup>th</sup> to discuss the layout of the greenhouses and the common concern of fire suppression. After much discussion, MPM decided to modify their plans for the site. The greenhouses are now less than 12,000 sq. ft with the required distance between according to building code so fire suppression will not be required. Building inspector, Tim Musser, was part of our meeting and discussed what will be required.**
- Concern with odor. **The odor mitigation plan has been submitted and reviewed by staff.**

The Local Development Finance Authority heard a presentation from MPM at their meeting held on December 17, 2020. At that meeting, MPM discussed the plan to obtain a Special Land Use permit for the construction of hoop houses and a conceptual site plan was presented. The only change the LDFA wanted to see was the paving of the parking area around the 12,375 square foot building since it is a permanent structure on the parcel. Consensus of the board was drive ways to the hoop houses are sufficient as gravel since they will only be allowed for a period of 3 years. The action taken by the LDFA was to support the submittal of the Special Land Use and Site Plan to the Planning Commission.

### **RECOMMENDATION**

The Planning Commission is being asked to approve the site plan for 1717 Pratt Avenue for MPM contingent upon approval of the Special Land Use Permit application.



**City of Marshall**  
**Application for Site Plan Review**

**3. Brief description of proposed project**

This project, when completed, will be a state of the art agricultural facility and bring 40 new direct jobs to Marshall with a projection of up to an additional 100 indirect jobs for the area along with increased property tax revenue and paid utility usage for the City of Marshall. Per Marshall Ordinance this Hoop House project will also require a Special Land Use Permit and includes the construction of a 12,375 sf pre engineered metal building on 26.44 acres of land owned by Great Lakes Farms Properties, LP located at 1717 Pratt Avenue. The project does not impact site wetlands and was unanimously approved by the Marshall LDFA on December 17, 2020.

**4. Property Information**

Is this property located in a floodplain?	<u>NO</u>
Is this property located in a wetland?	<u>YES</u>
Land area in square feet?	<u>1,151,582</u>
Proposed building area in square feet?	<u>12,375</u>
Proposed paved area in square feet?	<u>24,889</u>
Existing paved area in square feet?	<u>0</u>
Lake or stream within 500 feet?	<u>YES</u>
Any other agencies contacted for approvals?	<u>YES</u>

If so, please list:

Marshall LDFA was presented and approved project unanimously on December 17, 2020

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**City of Marshall**  
**Application for Site Plan Review**

**5. Authorization (Must be signed by the owner of the property)**

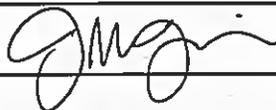
I am the owner of record for this property for which this application is being filed and as such, I am familiar with the development being proposed to be carried out on my property.

I hereby, give permission for this application to be filed with the full understanding that certain restriction may be placed on the property relative to the approval of the proposed work.

I further certify that under penalties of perjury, I am to sign this application.

Name (Please Print) Joseph Jarvis

Title: Managing Partner Date: December 21, 2020

Signature: 

**Note:** If there are multiple owners of the property or you are representing a group, corporation, or other organization attach a copy of a certified letter authorizing you to sign this application for the proposed development.

LAND USE AND DEVELOPMENT FEES	
<b>PLATS</b>	
Up to 30 Lots	\$450.00
Over 30 Lots	\$650.00
<b>SITE CONDOMINIUMS</b>	
Up to 30 Lots	\$350.00
Over 30 Lots	\$550.00
<b>SITE PLANS</b>	
Commercial and	\$250.00 < 30
Institutional	acres
Special Land Use	\$250.00
Planned Unit Development	\$350.00
Amend a PUD	\$150.00
Multiple Family Developments (Apartment &	\$50 plus \$5.00 per unit or
Additions to existing Site Plans if Planning Commission Review is	lot
required	\$100.00
Extending Site Plan with Planning Commission	\$150.00

CITY OF MARSHALL

Site Plan Review Checklist for General Development

Date: \_\_\_\_\_

Zoning District I-1 (Research and Manufacturing)

Proposed Use: Hoop House project for seasonal cannabis cultivation

Is this a Permitted Use?  Yes  No

If yes list section number: \_\_\_\_\_

Is the property in the Well Head Protection Area?  Yes  No  NA

Property Address: 1717 Pratt Avenue

**Information of Responsible Party that prepared plans**

Name: Tim Storey, PE Brandon Sundberg, VP

Company Name: Storey Engineering Group, LLC Integrated Design Solutions

Company Address: 48264 Manchester 1441 West Long Lake, Suite 200

Macomb, MI 48044 Troy, MI 48098

\_\_\_\_\_



**STOREY ENGINEERING GROUP, LLC**

CIVIL ENGINEERS / LAND SURVEYORS  
48264 Manchester, Macomb, MI 48044  
(586) 216-1043  
www.storeyengineering.com

Tim S. Storey, PE  
President

Planning & Zoning Department  
City of Marshall  
323 W Michigan Avenue  
Marshall, MI 49068

February 1, 2021  
SEG Project No. 2017-013.M3

**RE: REVISED SITE PLAN SUBMITTAL  
MPM PRATT ROAD CULTIVATION FACILITY  
CITY OF MARSHALL, CALHOUN COUNTY, MICHIGAN**

This letter briefly describes the changes made to the plans since they were submitted a few months ago. Attached herewith are the revised plans.

1. A "T"-Turnaround has been added at the far north and far south sides of the proposed project to allow a fire truck to turn around. A fire truck can also turn around just east of the proposed metal building.
2. The driveway to Pratt Road and the immediate area around the metal building and all parking areas are now provided with asphalt pavement. The remainder of the site is agricultural and will not see any traffic from employee or visitor vehicles.
3. The building and greenhouse setbacks have been changed to 50 feet from the north, east, south and west property lines and the setback from the centerline of Pratt Road is now shown as 250 feet. This is in accordance with Ordinance #2020-14. The location of the metal building and the greenhouses have been adjusted to meet or exceed the setback requirements.
4. The metal building has been decreased in area to 11,850 sf so that it falls below the maximum 12,000 sf area that would require fire suppression. Please note there is a proposed fire hydrant located near the northeast corner of the proposed metal building as well.
5. The greenhouse structures have been decreased in size and separated to ensure that none exceed a footprint of 12,000 sf so that fire suppression will not be required. Individual greenhouse areas are labeled on sheets C-3.1 and C-3.2. Additionally, all greenhouses are now a minimum of 22 feet apart. The total greenhouse area = 303,848 sf.
6. The site plans now indicate that an opaque screening fabric (color – green) will be provided on the entire 8' high perimeter fence. This will provide 100% opaque screening from all adjacent properties.
7. 143 evergreen trees have been added to the Landscape Plan as requested. As many of these as possible are being shown in the northwest area of the site in order to provide screening from the public road (Pratt Road). The remainder are distributed throughout the property around the perimeter.
8. The following note has been added to sheet C-3.0 *PROPOSED DRAINAGE SYSTEM:*  
*Storm water is to be infiltrated into the ground in infiltration trenches/drain tile distributed throughout the property with overflows to the low areas of the property, which is intended to mimic undeveloped conditions. The Infiltration Trenches provide detention volume equivalent to a volume in excess of 1" depth over the tributary area. Therefore, City detention requirements have been met.*
9. Proposed grading plans (C-4.1 & C-4.2) have been updated accordingly.

We trust that the accompanying revised plans and the above description of plan changes satisfactorily address the review comments received. However, should there be any additional comments, concerns or questions, please do not hesitate to contact me directly at 586-216-1043.

Thank you!

Sincerely,

**STOREY ENGINEERING GROUP, LLC**



Tim S. Storey, PE, LEED AP  
President

CC: Joseph M. Jarvis – MPM Companies  
Michael Beck – MPM Companies

## MARSHALL PLANNING COMMISSION

Staff report for February 10, 2021

**To:** Planning Commissioners  
**From:** Trisha Nelson, Planning and Zoning Administrator  
**Subject:** Receive and Consider Approval of Site Plan Amendment #SPA05.01  
for Love's Truck Stop, 18720 Partello Road

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The site plan for the Love's Truck Stop was presented to the Planning Commission on January 12, 2005 and was approved on March 16, 2005. This addition is coming to the Planning Commission as an amendment to the original site plan.

The following changes are being proposed to amend the existing building and site:

- Construct (2) additions at the south and west elevations
- Removal of parking spaces and sidewalk along south side of the building for new additions.
- New sidewalks and gutter around proposed additions.
- Add parking stalls along south side of overall site

City staff has reviewed the changes and feels all requirements have been met; however, it was felt that the Planning Commission should have the opportunity to review the site. The Planning Commission is being asked to receive and approve the plans at the same meeting.

**City of Marshall**  
**Application for Site Plan Review**

Attn: Planning and Zoning Administrator  
323 W Michigan Ave.  
Marshall, Michigan, 49068

The following application is made to the City of Marshall Planning Commission in accordance with the provisions of the Planning and Zoning Department.

**1. Applicant Information**

Address of property being developed:

18720 Partello Rd. Marshall, MI 49068

---

Owner of property being developed:

Roger Patterson

---

Owner's Address:

10601 N. Pennslyvania Ave. Oklahoma City, OK 73120

---

City

State

Zip

Owner's Phone Number:

405-255-1227

---

**2. Owner's Agent if working for property owner.**

Name and Title:

Myrna Smith - Permit Coordinator

---

Address:

8131 Metcalf Ave, Suite 300, Overland Park, KS 66204

---

City

State

Zip

Phone Number:

913-236-3440

---

**City of Marshall**  
**Application for Site Plan Review**

**3. Brief description of proposed project**

Addition 1: 2 RR Stalls/showers/Customer Laundry

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Addition 2: Backroom Bumpout/Add Kitchen

---

Interior Modifications:

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- Remodel of Men's Restroom (add two stalls)

---

- Coffee Bar Remodel

---

**4. Property Information**

Is this property located in a floodplain?

Yes

Is this property located in a wetland?

Yes

Land area in square feet?

1,341,174

Proposed building area in square feet?

9,261 total

Proposed paved area in square feet?

Existing to Remain

Existing paved area in square feet?

354,249

Lake or stream within 500 feet?

Yes

Any other agencies contacted for approvals?

No

If so, please list:

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**City of Marshall**  
**Application for Site Plan Review**

**5. Authorization (Must be signed by the owner of the property)**

I am the owner of record for this property for which this application is being filed and as such, I am familiar with the development being proposed to be carried out on my property.

I hereby, give permission for this application to be filed with the full understanding that certain restriction may be placed on the property relative to the approval of the proposed work.

I further certify that under penalties of perjury, I am to sign this application.

Name (Please Print) Tom Squires

Title: V.P. of Construction Date: 1/15/21

Signature: 

**Note:** If there are multiple owners of the property or you are representing a group, corporation, or other organization attach a copy of a certified letter authorizing you to sign this application for the proposed development.

LAND USE AND DEVELOPMENT FEES	
<b>PLATS</b>	
Up to 30 Lots	\$450.00
Over 30 Lots	\$650.00
<b>SITE CONDOMINIUMS</b>	
Up to 30 Lots	\$350.00
Over 30 Lots	\$550.00
<b>SITE PLANS</b>	
Commercial and	\$250.00 < 30 acres
Institutional	\$250.00
Special Land Use	\$250.00
Planned Unit Development	\$350.00
Amend a PUD	\$150.00
Multiple Family Developments (Apartment &	\$50 plus \$5.00 per unit or lot
Additions to existing Site Plans if Planning Commission Review is required	\$100.00
Extending Site Plan with Planning Commission	\$150.00

# CITY OF MARSHALL

## Site Plan Review Checklist for General Development

Date: 1/26/2021

Zoning District FS

Proposed Use: Convenience Store w/ Fuel Canopy

Is this a Permitted Use?  Yes  No

If yes list section number: 4.17

Is the property in the Well Head Protection Area?  Yes  No  NA

Property Address: 18720 Partello Rd, Marshall, MI 49068

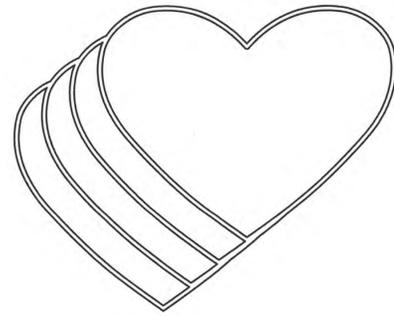
### Information of Responsible Party that prepared plans

Name: Myrna Smith

Company Name: BRR Architecture

Company Address: 8131 Metcalf Ave, Suite 300

Overland Park, KS 66204



# Love's

18720 PARTELLO ROAD  
MARSHALL, MI 49608

STORE #: 336

01/12/21

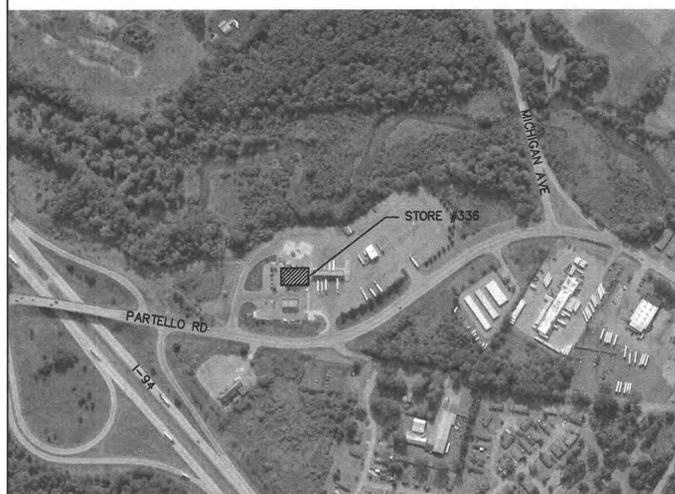
### DRAWING INDEX

<b>GENERAL</b>		<b>ARCHITECTURAL CONT'D</b>	
G001	COVER SHEET	A401	RESTROOM DETAILS
G002	SYMBOLS, ABBREVIATIONS, GENERAL NOTES	A410	SHOWER ELEVATIONS
G003	PARTITION TYPES AND NOTES	A411	SHOWER DETAILS
G004	ACCESSIBILITY FIXTURE HEIGHTS AND CLEARANCES	A420	INTERIOR ELEVATIONS
G005	LIFE SAFETY PLAN	A421	INTERIOR ELEVATIONS AND DETAILS
D100	DEMOLITION SITE PLAN	A600	DOOR SCHEDULE AND DETAILS
D101	DEMOLITION PLAN AND SECTIONS	<b>MECHANICAL</b>	
D102	DEMOLITION EXTERIOR ELEVATIONS	M201	HVAC PLANS AND SCHEDULES
D103	DEMOLITION EXTERIOR ELEVATIONS	M301	HVAC DETAILS AND SCHEDULES
SP100	OVERALL SITE PLAN	<b>PLUMBING</b>	
SP101	ENLARGED SITE PLAN AND DETAILS	P201	PLUMBING PLANS AND SCHEDULES
<b>CIVIL</b>		P202	WATER AND GAS PLANS
C1	OVERALL PLAN	P301	PLUMBING SCHEDULES AND DETAILS
C2	SITE DIMENSION PLAN	<b>ELECTRICAL</b>	
C3	UTILITY PLAN	E001	ELECTRICAL SYMBOLS LEGEND
<b>STRUCTURAL</b>		E201	LIGHTING PLANS AND SCHEDULES
S0.0	GENERAL NOTES AND DETAILS	E202	POWER PLANS AND SCHEDULES
S1.0	PARTIAL FOUNDATION PLANS	E501	ELECTRICAL SCHEDULES
S1.1	FOUNDATION DETAILS	<b>ARCHITECTURAL</b>	
S2.0	PARTIAL ROOF FRAMING PLANS	A100	OVERALL FLOOR PLAN
S2.1	ROOF FRAMING DETAILS	A101	ENLARGED FLOOR PLANS
<b>ARCHITECTURAL</b>		A102	EQUIPMENT PLANS AND SCHEDULE
A100	OVERALL FLOOR PLAN	A103	REFLECTED CEILING PLANS
A101	ENLARGED FLOOR PLANS	A104	FINISH PLANS AND DETAILS
A102	EQUIPMENT PLANS AND SCHEDULE	A105	FINISH SCHEDULE
A103	REFLECTED CEILING PLANS	A130	ROOF PLAN
A104	FINISH PLANS AND DETAILS	A131	ENLARGED ROOF PLANS AND DETAILS
A105	FINISH SCHEDULE	A132	ROOF DETAILS
A130	ROOF PLAN	A200	EXTERIOR ELEVATIONS
A131	ENLARGED ROOF PLANS AND DETAILS	A201	EXTERIOR ELEVATIONS
A132	ROOF DETAILS	A300	WALL SECTIONS
A200	EXTERIOR ELEVATIONS	A301	WALL SECTIONS
A201	EXTERIOR ELEVATIONS	A310	WALL DETAILS
A300	WALL SECTIONS	A400	RESTROOM ELEVATIONS
A301	WALL SECTIONS		
A310	WALL DETAILS		
A400	RESTROOM ELEVATIONS		

## 2020 REMODEL

SCOPE OF WORK: ADD FRESH KITCHEN ADDITION, CUSTOMER/ EMPLOYEE LAUNDRY AND TWO SHOWER ADDITION, REMODEL OF MEN'S RESTROOM WITH TWO ADDITIONAL STALLS, REMODEL COFFEE BAR AND DRINK CENTER.

### VICINITY MAP



**LOVE'S TRAVEL STOP**  
18720 PARTELLO RD.  
MARSHALL, MI 49068

### PROJECT DIRECTORY

#### OWNER

LOVE'S TRAVEL STOP  
10601 N. PENNSYLVANIA AVENUE  
OKLAHOMA CITY, OK 73120  
JOSHUA COUCH  
(405) 671-6419

#### ARCHITECTURAL

ANDREW MAASS  
8131 METCALF AVENUE, SUITE 300  
OVERLAND PARK, KS 66204  
BRITTANY WINNIKE  
(913) 262-9095

#### STRUCTURAL

JOHNSTON BURKHOLDER ASSOCIATES  
930 CENTRAL STREET  
KANSAS CITY, MO 64105  
JASON HENDRIX  
(816) 421-4200

#### MEP

RTM  
9225 INDIAN CREEK PKWY  
SUITE 1075  
OVERLAND PARK, KS 66210  
(913) 303-0031

#### AUTHORITY HAVING JURISDICTION

CITY OF MARSHALL  
323 W. MICHIGAN AVE  
MARSHALL, MI 49068  
(269) 781-3985 EXT. 1507

### CODE INFORMATION

<b>PROJECT INFORMATION:</b>	NAME OF PROJECT:	LOVE'S TRAVEL STOP
	STREET ADDRESS:	18720 PARTELLO RD
<b>CODES:</b>	BUILDING CODE:	2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
	ELECTRICAL CODE:	2017 NATIONAL ELECTRICAL CODE
	MECHANICAL CODE:	2015 INTERNATIONAL MECHANICAL CODE
	PLUMBING CODE:	2015 INTERNATIONAL PLUMBING CODE
	FIRE CODE:	2015 INTERNATIONAL FIRE CODE
	ENERGY CODE:	2015 MICHIGAN UNIFORM ENERGY CODE
	ACCESSIBILITY CODE:	2009 INTERNATIONAL CODE COUNCIL A117.1
	FUEL GAS CODE:	2006 INTERNATIONAL FUEL GAS CODE
<b>OCCUPANCY:</b>	OCCUPANCY TYPE:	A2 - ASSEMBLY M - MERCANTILE
<b>TYPE OF CONSTRUCTION:</b>	CONSTRUCTION TYPE:	V-B NON-SPRINKLERED
<b>BUILDING AREA:</b>	EXISTING:	7,695 SF
	ADDITION(S):	1,396 SF
	TOTAL AREA:	9,081 SF

brr

Architect of Record:

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CONSULTANT LOGO



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NO.	DATE	DESCRIPTION
1	01/29/21	REV

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SS

DOCUMENT DATE:

01/12/2021

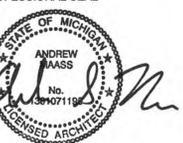
PROTO TYPE:

TIER 1-90, REMODEL

PROTO CYCLE:

2020 QUARTER 3

PROFESSIONAL SEAL



Andrew S. Maass

Jan 27 2021

COVER SHEET

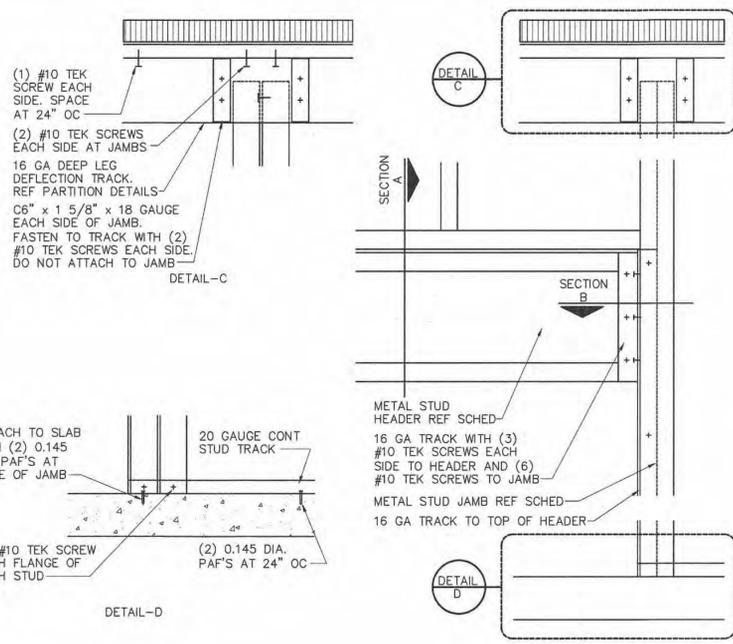
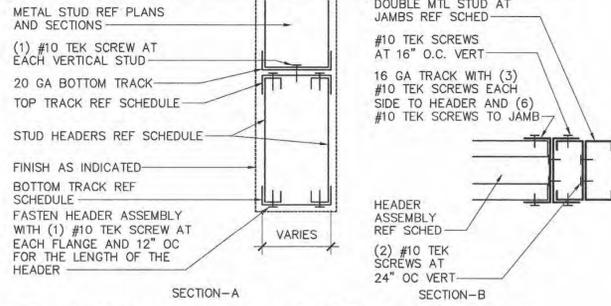
SHEET:

G001

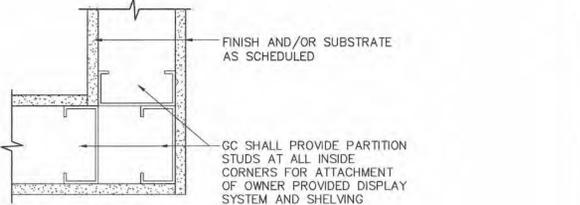
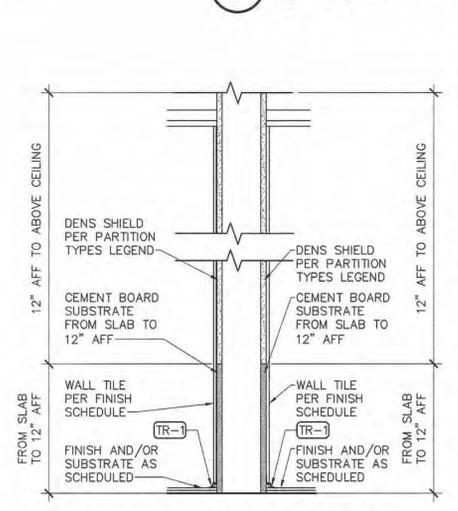
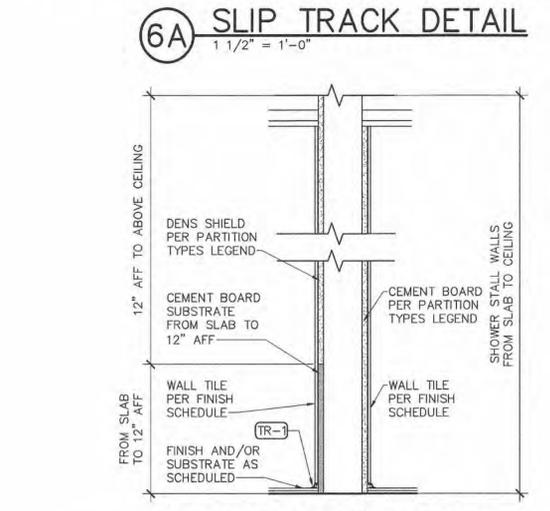
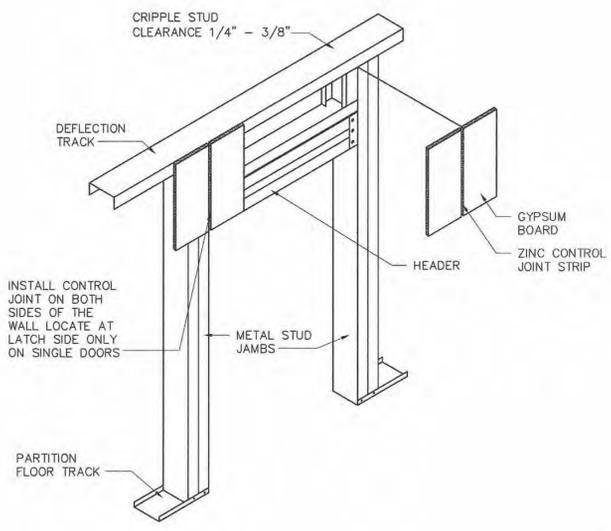
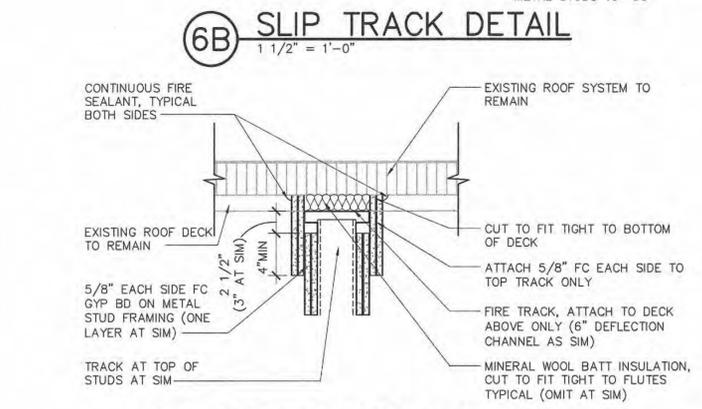
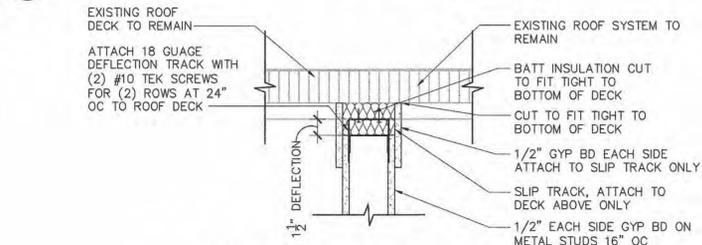


INTERIOR NON-LOAD BEARING PARTITION HEADER SCHEDULE			
HEADER LENGTH	HEADER MEMBERS	HEADER TRACKS	JAMB STUDS
UP TO 4'-0"	(2) C3 5/8x1 1/4"x20 GA	(2) C3 5/8x20 GA	(2) C3 5/8x1 1/4"x20 GA
UP TO 10'-0"	(2) C6x1 5/8"x18 GA	(2) C6x18 GA	(2) C6x1 5/8"x18 GA
OVER 10'-0" & UP TO 14'-0"	(2) C8x1 5/8"x18 GA	(2) C6x18 GA	(2) C6x1 5/8"x18 GA
OVER 14'-0" & UP TO 18'-0"	(2) C8x1 5/8"x16 GA	(2) C6x16 GA	(2) C6x1 5/8"x16 GA
OVER 18'-0" & UP TO 20'-0"	(2) C10x1 5/8"x16 GA	(2) C6x16 GA	(2) C6x1 5/8"x16 GA
OVER 20'-0" & UP TO 24'-0"	(2) C12x1 5/8"x16 GA	(2) C6x16 GA	(2) C6x1 5/8"x16 GA

- NOTES:**
- MAX WALL HEIGHT ABOVE HEADER ASSEMBLY IS 14'-9"
  - SPLICING OF HEADER AND JAMB MEMBERS IS NOT PERMITTED.
  - MAX SPAN FOR OPENINGS TO RECEIVE INFILL BELOW THE HEADER IS 19'-0"
  - JAMBS NOT TO DECK ARE TO BE BRACED IN ACCORDANCE WITH THE PARTITION BRACING DETAILS. 3 5/8" JAMBS BEYOND 13'-4" ARE TO BE BRACED ABOVE THE OPENING AND SUCH THAT THE MAXIMUM UNBRACED LENGTH IS NOT EXCEEDED
  - FRAMING MEMBERS ARE NOT SIZED FOR VERTICAL LOAD OTHER THAN THAT OF THE PORTION OF WALL ABOVE THE OPENING.



**7 1 1/2" = 1'-0"**  
**HEADER CONNECTION DETAIL**  
(INTERIOR NON-BEARING WALLS)



**PARTITION LEGEND**

LETTER INDICATES PARTITION TYPE

REFERENCE SIDE

OPPOSITE SIDE

NUMBER INDICATES STUD HEIGHT (IN FEET). "D" INDICATES TO DECK. "BC" INDICATES TO BOTTOM CHORD OF JOIST/BEAM. "HEADER" INDICATES FROM DECK TO HEIGHT CALLED OUT ON REFLECTED CEILING PLAN. NUMBER INDICATES STUD SIZE. NO NUMBER INDICATES EXISTING STUD TO REMAIN

REFERENCE FLOOR PLAN FOR INSULATION PLACEMENT

EXISTING WALLS AND EQUIPMENT TO REMAIN

NEW HALF WALLS AND EQUIPMENT

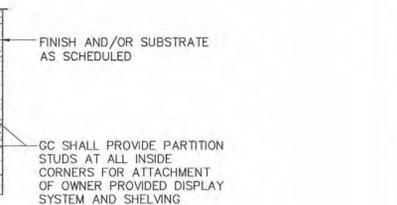
NEW FIRE RATED WALL

EXISTING FIRE RATED WALL TO REMAIN

NEW COOLER WALL

**PARTITION AND SUBSTRATE**

- WALL INSULATION WHERE INDICATED ON PLANS
- WALL FINISHES AS INDICATED ON ROOM FINISH SCHEDULE AND INTERIOR ELEVATIONS
- USE DEFLECTION CHANNEL AT DECKING CONNECTION FOR ALL PARTITIONS THAT GO TO DECK
- ALL PARTITIONS THAT DO NOT GO TO DECK SHALL HAVE DIAGONAL BRACING BEGINNING 2" ABOVE THE CEILING FINISH. BRACING: 3 5/8" 20 GAUGE METAL STUD BRACING @ 48" OC SECURE END TO BAR JOIST ABOVE
- USE FIRE RATED 5/8" TYPE "X" GYP BD SUBSTRATE ON FIRE RATED PARTITIONS.
- ON FIRE RATED PARTITIONS WHERE DENS SHIELD SUBSTRATE IS INDICATED, USE DENS SHIELD THAT IS EQUAL TO FIRE RATED "X" GYP BD SUBSTRATE.
- SUBSTRATE TO STOP
  - AT CEILING AT GYP BD CEILING CONDITIONS, TYP UNO
  - AT 6" ABOVE LAY-IN CEILINGS, TYP UNO
  - AT TOP OF STUD FOR ROOMS WITHOUT CEILINGS (EXPOSED TO STRUCTURE), TYP UNO
- 5/8" SUBSTRATE ON FIRE RATED WALLS TO DECK ALWAYS BE FIRE RETARDANT TREATED
- ALL WOOD AND PLYWOOD USED IN THE BUILDING SHALL BE FIRE RETARDANT TREATED
- RESTROOMS & SHOWER AREA PARTITIONS:
  - 1/2" DENS SHIELD FROM 12" AFF TO ABOVE CEILING
  - 1/2" CEMENT BOARD FROM SLAB TO 12" AFF
- REFER TO BLOCKING ELEVATIONS FOR PLYWOOD SUBSTRATE LOCATIONS
- SHOWER STALL PARTITIONS:
  - 1/2" CEMENT BOARD FROM SLAB TO CEILING
  - REFER TO BLOCKING ELEVATIONS FOR PLYWOOD SUBSTRATE LOCATIONS
- INSTALL 1/2" CEMENT BOARD AT SHOWER STALL CEILINGS BEHIND TILE. REFERENCE REFLECTED CEILING PLAN
- ALL NEW INTERIOR WALLS SHALL BE 20 GA METAL STUDS AT 16" OC, UNO



**PARTITION TYPES**

A METAL STUDS 1/2" GYPSUM BOARD

B METAL STUDS 1/2" GYPSUM BOARD

C 1/2" CEMENT BOARD METAL STUDS 1/2" AIR GAP, REF STRUC EXISTING METAL STUDS TO REMAIN EXISTING SHEATHING TO REMAIN EXISTING CEMENT BOARD TO REMAIN

D 1/2" CEMENT BOARD METAL STUDS 1/2" AIR GAP, REF STRUC EXISTING METAL STUDS TO REMAIN EXISTING WALL TYPE TO REMAIN

E METAL STUDS 1/2" CEMENT BOARD

F 1/2" CEMENT BOARD METAL STUDS 1/2" GYPSUM BOARD

H 1/2" CEMENT BOARD METAL STUDS

J 1/2" CEMENT BOARD METAL STUDS

K 1/2" DENS SHIELD METAL STUDS 1/2" GYPSUM BOARD

M 1/2" DENS SHIELD METAL STUDS 1/2" GYPSUM BOARD

P 1/2" DENS SHIELD METAL STUDS 1/2" CEMENT BOARD

Q 1/2" DENS SHIELD METAL STUDS 1/2" PLYWOOD

CC 2 HR FIRE RATED UL U419 AT SEPARATION BETWEEN LOVES AND HARDEES

FF 2 HR FIRE RATED UL U415

MM 2 HR FIRE RATED UL U415 AT ELECTRICAL

**brr**

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**Love's**

**MARSHALL, MI**

STORE NO. 336

69203360 PROJECT TYPE: REMODEL

JOB NUMBER:

**ISSUE BLOCK**

NO.	DATE	DESCRIPTION

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DOCUMENT DATE: 01/12/2021

PROTO TYPE: TIER 1-90, REMODEL

PROTO CYCLE: 2020 QUARTER 3

**PROFESSIONAL SEAL**

STATE OF MICHIGAN

ANDREW MAASS

1301071195

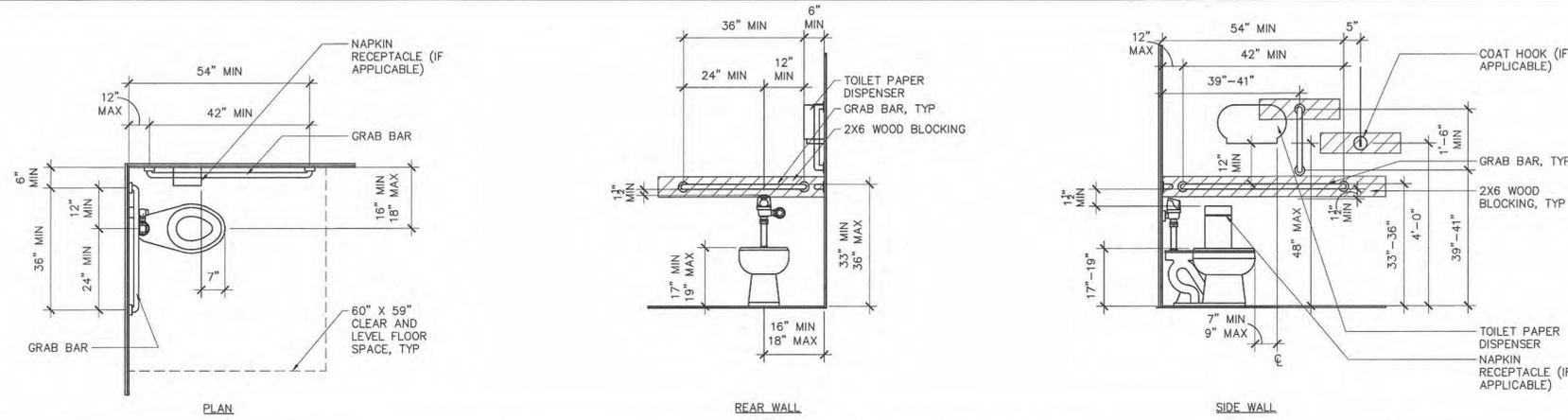
LICENSED ARCHITECT

**PARTITION TYPES AND NOTES**

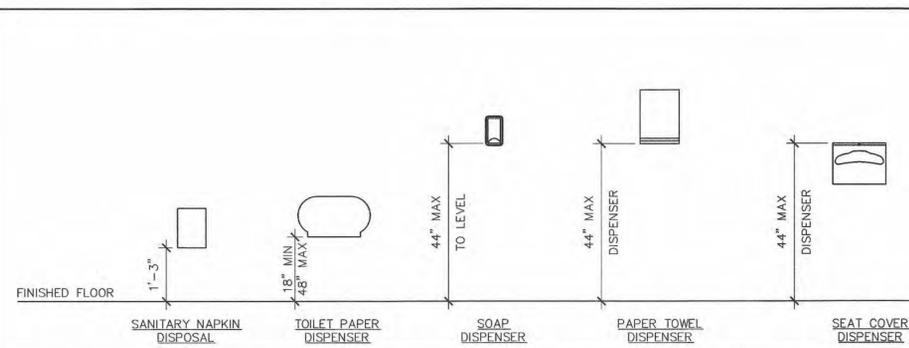
SHEET: **G003**

# ACCESSIBILITY REQUIREMENTS

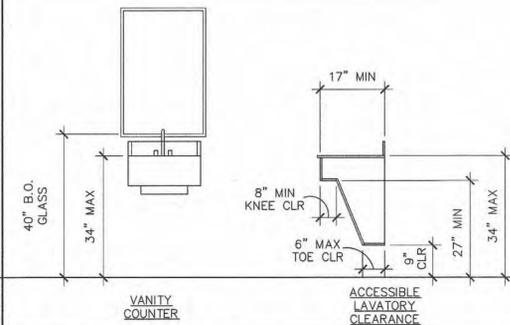
## TYPICAL ACCESSIBLE WATER CLOSET



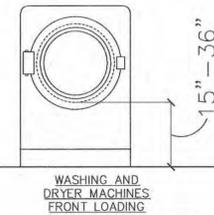
## ACCESSORY MOUNTING



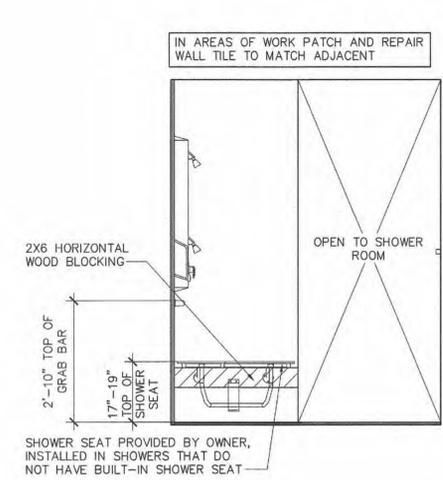
## LAVATORY MOUNTING



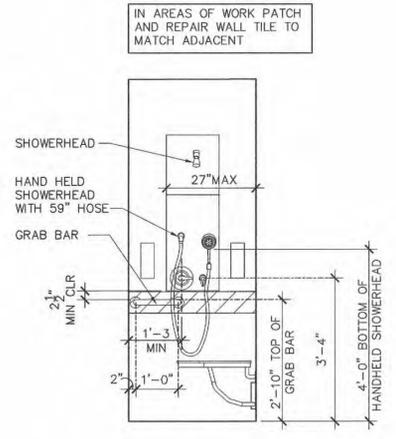
## HEIGHT OF LAUNDRY COMPARTMENT OPENING



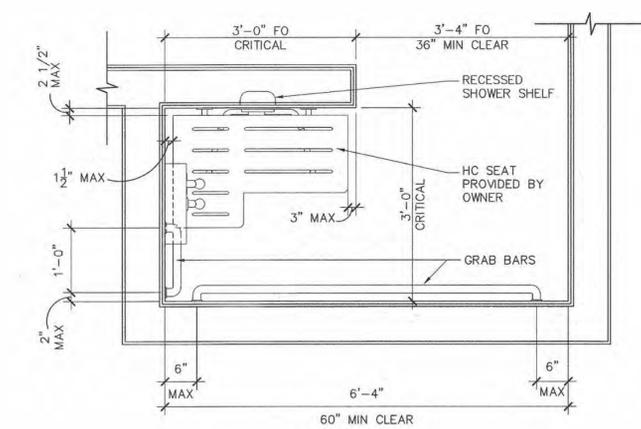
## DETAILS FOR CLEARANCES REQUIREMENTS ONLY



**3** TYPICAL SHOWER ELEVATION  
1/2" = 1'-0"



**2** TYPICAL SHOWER ELEVATION  
1/2" = 1'-0"



**1** TYPICAL SHOWER STALL  
3/4" = 1'-0"

## SHEET NOTES

1. FIXTURE AND EQUIPMENT DIMENSIONS ARE TO FINISH FACE OF WALL, UNO.
2. ALL TILE INSTALLED IN SHOWER ROOM AND SHOWER STALL SHALL HAVE EPOXY GROUT TO MATCH EXISTING FINISH.
3. REFER TO ELEVATIONS AND MANUFACTURER'S REQUIREMENTS FOR REQUIRED EQUIPMENT BLOCKING.
4. COORDINATE NEW/REUSED EQUIPMENT, ACCESSORIES, AND FINISHES WITH LOVE'S PROJECT MANAGER.

## CONTRACTOR NOTES

COORDINATE WITH LOVE'S PROJECT MANAGER FOR THE SCOPE TO INCLUDE AN ALLOWANCE UP TO THE 20% OF THE TOTAL CONSTRUCTION COST. GC TO RELOCATE RESTROOM ACCESSORIES TO MEET REQUIRED CLEARANCES SHOWN ON THIS SHEET. DETAILS ARE NOT ALL INCLUSIVE AND MAY REQUIRE ADDITIONAL VERIFICATION FOR COMPLIANCE. GC TO PATCH AND REPAIR FINISHES TO MATCH ADJACENT.

**brr**

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**CONSULTANT LOGO**

**Loves**

**MARSHALL, MI**  
STORE NO. 336

JOB NUMBER: 63203360 | PROJECT TYPE: REMODEL

**ISSUE BLOCK**

NO.	DATE	DESCRIPTION

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DOCUMENT DATE: 01/12/2021  
PROTO TYPE: TIER 1-90, REMODEL  
PROTO CYCLE: 2020 QUARTER 3

**PROFESSIONAL SEAL**

STATE OF MICHIGAN  
ANDREW MAASS  
No. 1301071195  
LICENSED ARCHITECT

**ACCESSIBILITY FIXTURE HEIGHTS AND CLEARANCES**

SHEET: **G004**

Jan 12, 2021 - 4:48pm - USER: eshley.weber  
N:\Love's Travel Stops\Marshall MI #336 63203360\6 - CAD\Sheets\G004 ACCESSIBILITY FIXTURE HEIGHTS AND CLEARANCES-336.dwg

Jun 13, 2021 - 8:55pm - USER: sarina.abranks  
 N:\Love's Travel Stops\Marshall MI #336 63203360\6 - CAD\Sheets\G005 LIFE SAFETY PLAN-336.dwg

### OCCUPANCY LOAD

USE TYPE	AREA	LOAD FACTOR	OCCUPANT TOTAL
<b>HARDEE'S</b>			
A-2 ASSEMBLY	905	15	187
A-2 ASSEMBLY	80	5	16
A-2 ASSEMBLY	130	11	12
B BUSINESS	1,463	200	8
B BUSINESS	45	100	1
S-1 STORAGE	200	300	2
		TOTAL	126
<b>LOVE'S</b>			
A-2 ASSEMBLY	110	5	22
B BUSINESS	308	100	4
B BUSINESS	882	50	18
B BUSINESS	1306	200	7
S-1 STORAGE	108	300	2
M MERCANTILE	2,789	60	47
		TOTAL	100

### LIFE SAFETY LEGEND

33 REPRESENTS THE NUMBER OF OCCUPANTS

R = 3 REPRESENTS REQUIRED EGRESS INCHES

P = 3 REPRESENTS PROVIDED EGRESS INCHES

←←← PATH OF EGRESS

▨ A-2 - ASSEMBLY LOAD FACTOR: 15

▩ A-2 - ASSEMBLY LOAD FACTOR: 5

▧ A-2 - ASSEMBLY LOAD FACTOR: 11

▦ B - BUSINESS LOAD FACTOR: 100

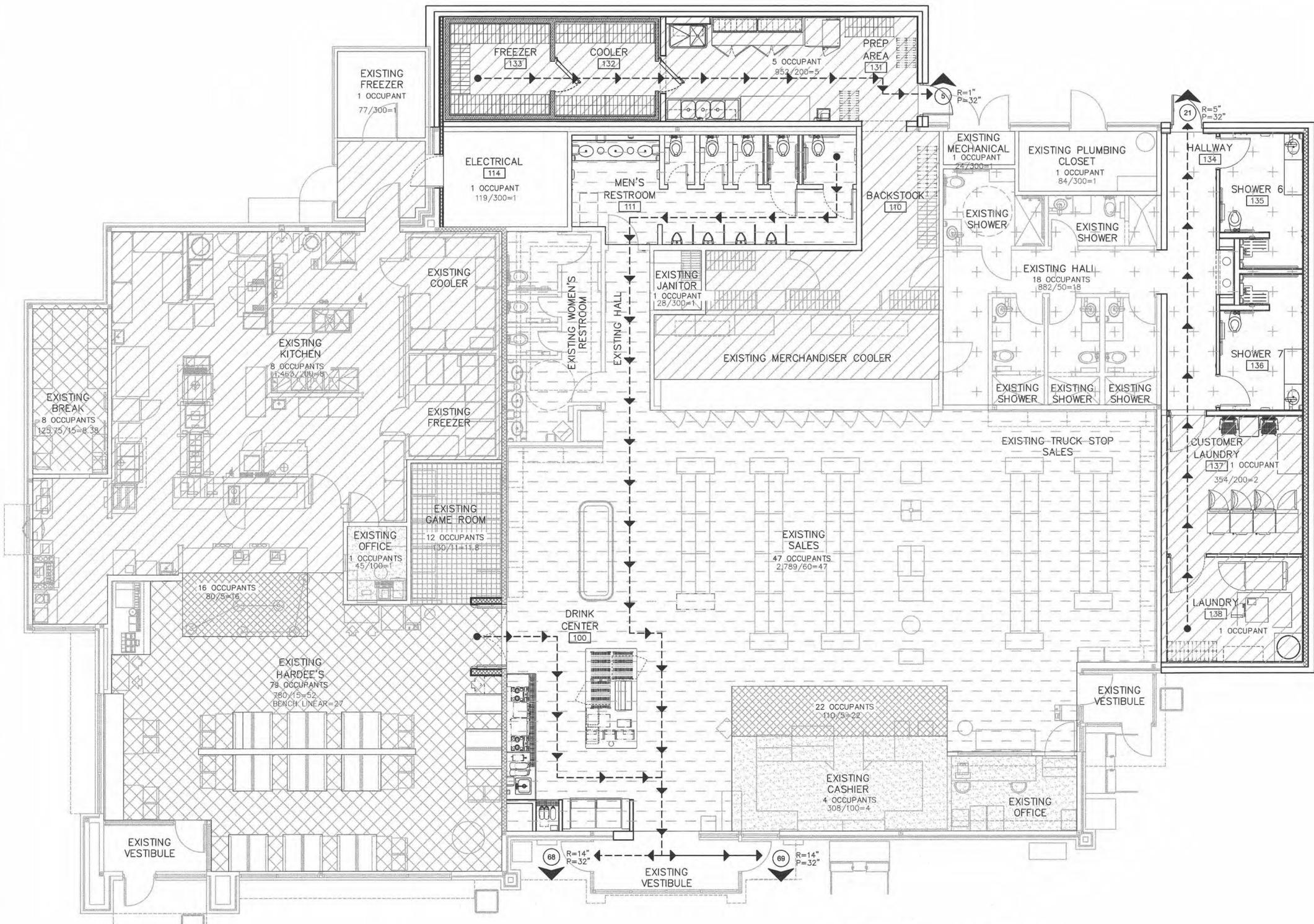
▤ B - BUSINESS (KITCHEN) LOAD FACTOR: 200

▥ B - BUSINESS (SHOWER) LOAD FACTOR: 50

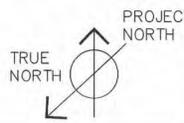
□ S-1 - STORAGE LOAD FACTOR: 300

▨ M - MERCANTILE LOAD FACTOR: 60

- ### SHEET NOTES
- ALL EXIT SIGNS AND EMERGENCY LIGHTS WILL BE SUBJECT TO INSPECTION FROM THE FIRE MARSHAL HAVING AUTHORITY PRIOR TO FINAL APPROVALS. REFERENCE MEP GC SHALL FURNISH AND INSTALL PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH APPLICABLE BUILDING CODES, COORDINATE LOCATIONS AND QUANTITY WITH LIFE SAFETY PLAN AND FIRE MARSHAL. PROVIDE BLOCKING AS REQUIRED FOR MOUNTING AND INCLUDE INSPECTION TAGS WITH EACH.
  - LOCATE FIRE EXTINGUISHERS A MAXIMUM TRAVEL DISTANCE OF 75' FOR A COVERAGE OF UP TO 3,000 SF. MINIMUM RATING CLASSIFICATION NOT LESS THAN 2A-10-B-C.
  - REF G002 FOR ALL ACCESSIBLE SIGNAGE REQUIREMENTS. GC TO FV ALL EXISTING SIGNAGE IS IN PLACE PER REQUIREMENTS.



1 LIFE SAFETY PLAN  
 3/16" = 1'-0"



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**MARSHALL, MI**  
 STORE NO. 336

JOB NUMBER: 63203360 PROJECT TYPE: REMODEL

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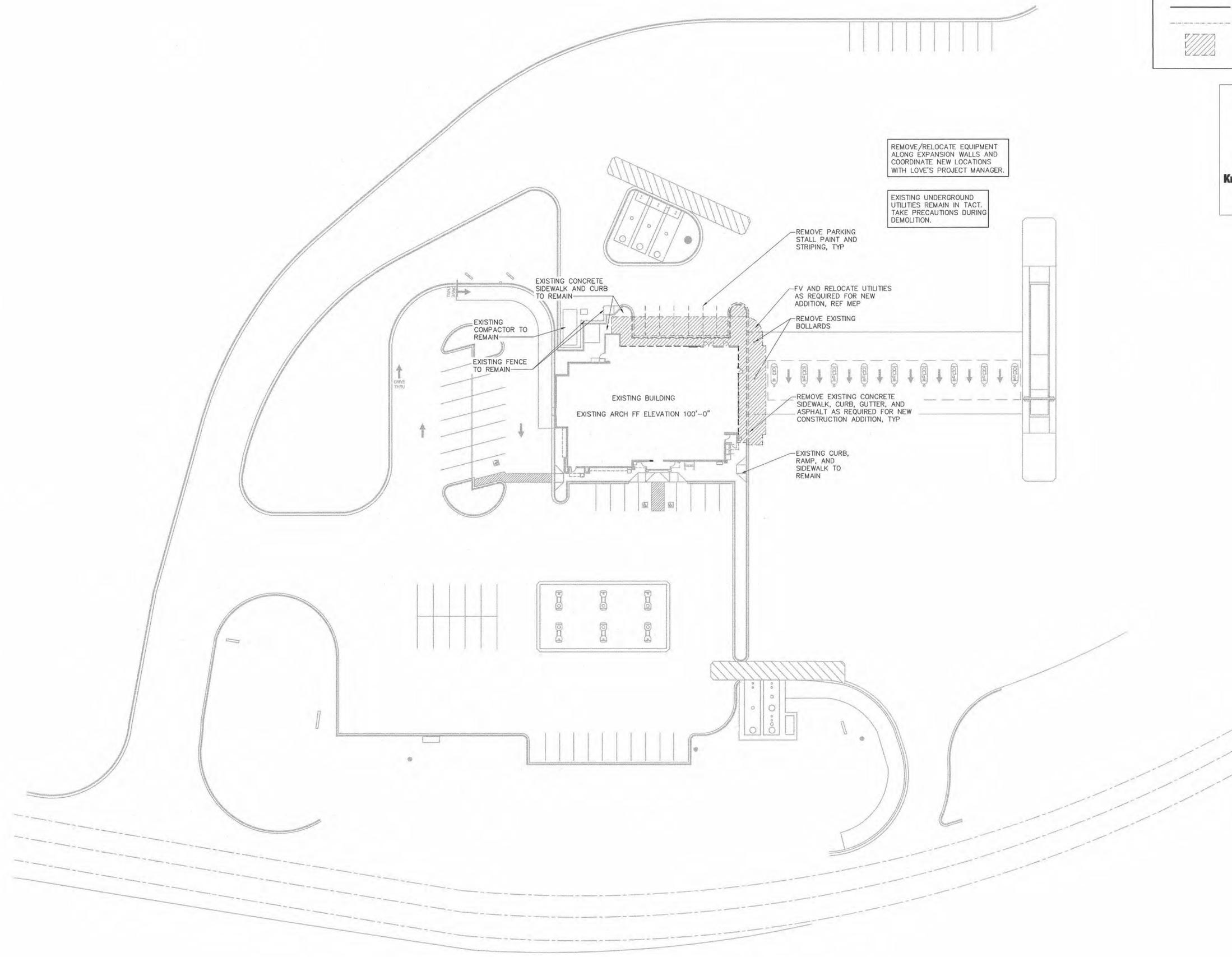
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 DOCUMENT DATE: 01/12/2021  
 PROTO TYPE: TIER 1-90, REMODEL  
 PROTO CYCLE: 2020 QUARTER 3

PROFESSIONAL SEAL

LIFE SAFETY PLAN

SHEET:  
**G005**

Jan 12, 2021 - 4:59pm - USER: ashley.wether  
 N:\Love's Travel Stops\Marshall MI #336\63203360\6 - CAD\Sheets\D100 DEMOLITION SITE PLAN-336.dwg



**LEGEND**

	EXISTING TO BE DEMOLISHED
	EXISTING TO REMAIN
	NEW ADDITION
	EQUIPMENT TO BE RELOCATED
	AREA OF SIDEWALKS AND ASPHALT TO BE REMOVED



**brr**

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 STORE NO. 336

JOB NUMBER: 63203360 | PROJECT TYPE: REMODEL

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PROTO CYCLE:	2020 QUARTER 3

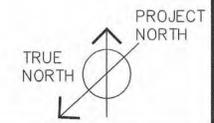
**PROFESSIONAL SEAL**

STATE OF MICHIGAN  
 ANDREW MAASS  
 1301071195  
 LICENSED ARCHITECT

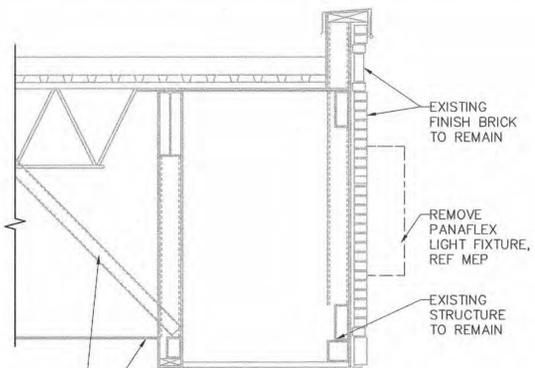
**DEMOLITION SITE PLAN**

SHEET: **D100**

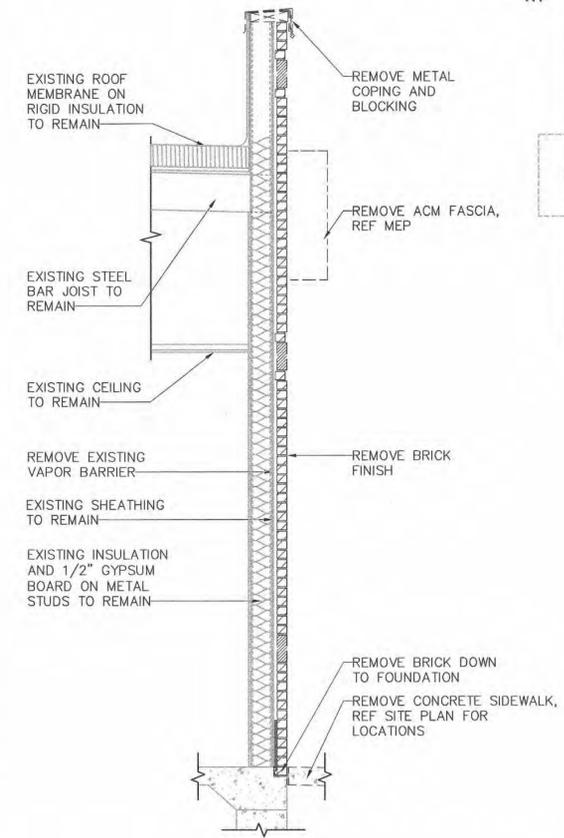
**1 DEMOLITION SITE PLAN**  
 1" = 30'-0"



Jan 13, 2021 - 8:57pm - USER: sarina.stankovic  
 N:\Love's Travel Stops, Marshall, MI #5356 63203360 V6 - CAD\Sheets\D101 DEMOLITION PLAN AND SECTIONS-336.dwg



**3 DEMOLITION GLAZING INFILL SECTION**  
 1/2" = 1'-0"



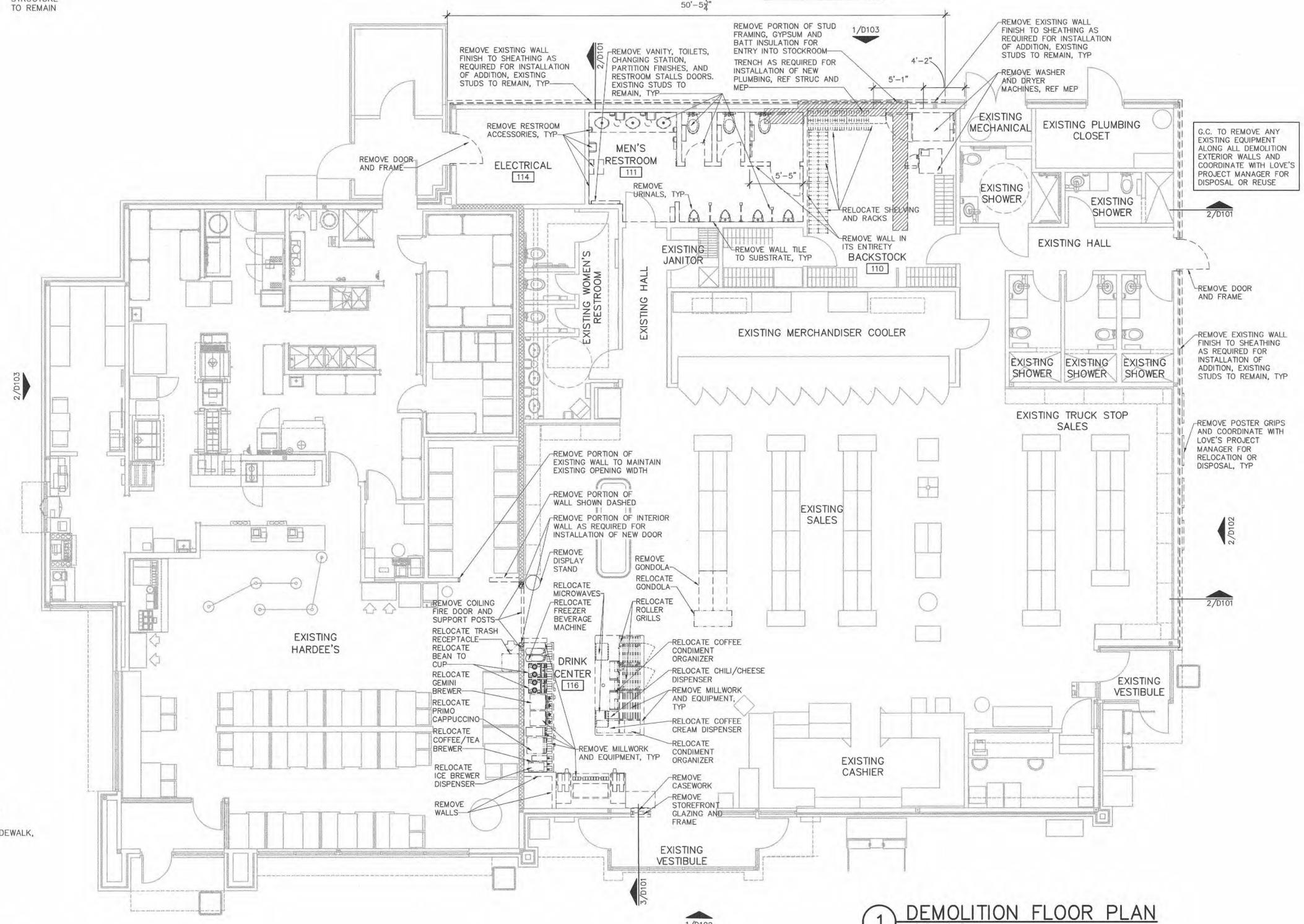
**2 DEMOLITION WALL SECTION**  
 1/2" = 1'-0"

NOTE: TRENCHING LAYOUT IS DIAGRAMMATIC AND MAY VARY IN FIELD. GC SHALL COORDINATE TRENCHING WITH EXISTING SLAB CONSTRUCTION JOINTS AND ADJUST AS NEEDED. REF STRUCTURAL FOR ADDITIONAL INFORMATION

NOTE: WHEN TRENCHING THE EXISTING SLAB FOR NEW UNDERGROUND UTILITIES-DO NOT CUT EXISTING ANCHOR RODS, HARPINS, SUPPORTING MEM STRUCTURE, AND FOOTINGS AND FOUNDATIONS

**LEGEND**

- EXISTING TO BE DEMOLISHED
- EXISTING TO REMAIN
- - - EQUIPMENT TO BE RELOCATED
- ▨ AREA TO BE REMOVED



**1 DEMOLITION FLOOR PLAN**  
 3/16" = 1'-0"

**brr**

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**CONSULTANT LOGO**

**Love's**

**MARSHALL, MI**  
 STORE NO. 336

JOB NUMBER: 63203360 | PROJECT TYPE: REMODEL

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 DOCUMENT DATE: 01/12/2021  
 PROTO TYPE: TIER 1-90, REMODEL  
 PROTO CYCLE: 2020 QUARTER 3

**PROFESSIONAL SEAL**

STATE OF MICHIGAN  
 ANDREW MAASS  
 1301071195  
 LICENSED ARCHITECT

**DEMOLITION PLAN AND SECTIONS**

SHEET: **D101**

Jan 12, 2021 - 5:01pm - USER ashley.weber  
 N:\Love's Travel Stops\Marshall MI #336 63203360 V6 - CAD\Sheets\D102 DEMOLITION EXTERIOR ELEVATIONS--336.dwg

LEGEND	
---	EXISTING TO BE DEMOLISHED
---	EXISTING TO REMAIN
	AREA TO BE REMOVED
	AREA OF WALL REMOVAL

**brr**

Architect of Record:  
**ANDREW MAASS**

8131 Metcalf Avenue  
 Suite 300  
 Overland Park, KS 66204  
 www.brrarch.com  
 Tel: 913-262-9095  
 Fax: 913-262-9044

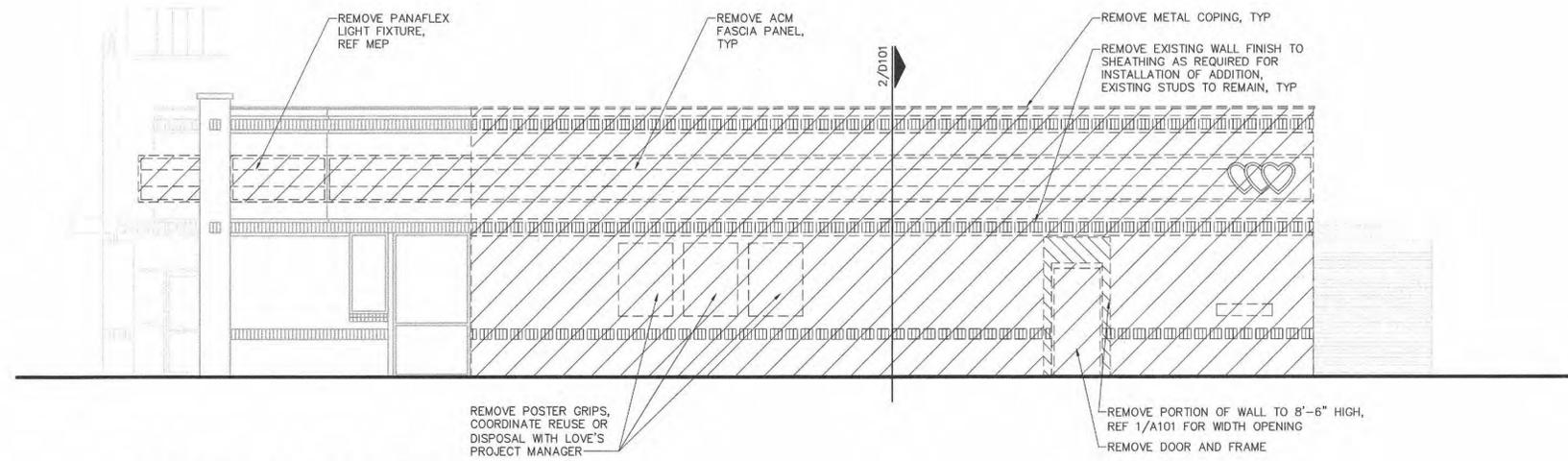
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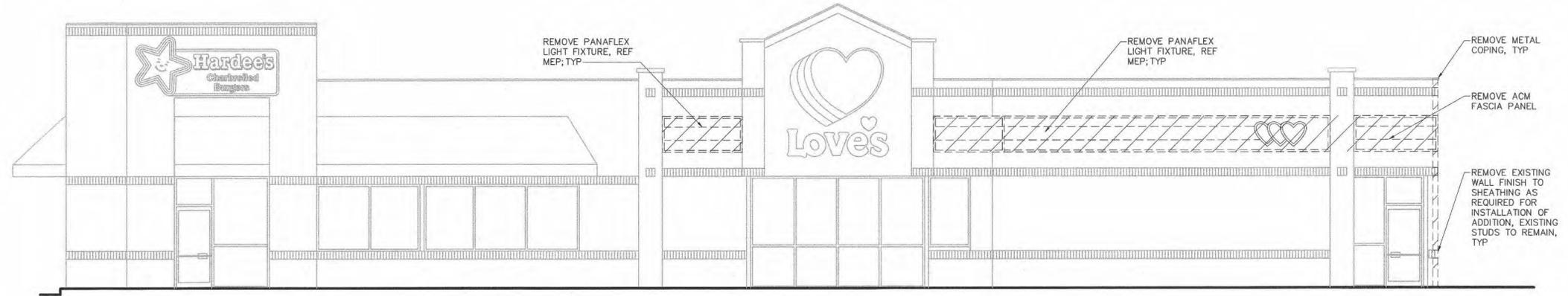
**CONSULTANT LOGO**

**MARSHALL, MI**  
 STORE NO. 336

JOB NUMBER: 63203360 | PROJECT TYPE: REMODEL



**2 SIDE ELEVATION**  
 3/16" = 1'-0"



**1 FRONT ELEVATION**  
 3/16" = 1'-0"

**ISSUE BLOCK**

NO.	DATE	DESCRIPTION

CHECKED BY: PDB

DRAWN BY: SS

DOCUMENT DATE: 01/12/2021

PROTO TYPE: TIER 1-90, REMODEL

PROTO CYCLE: 2020 QUARTER 3

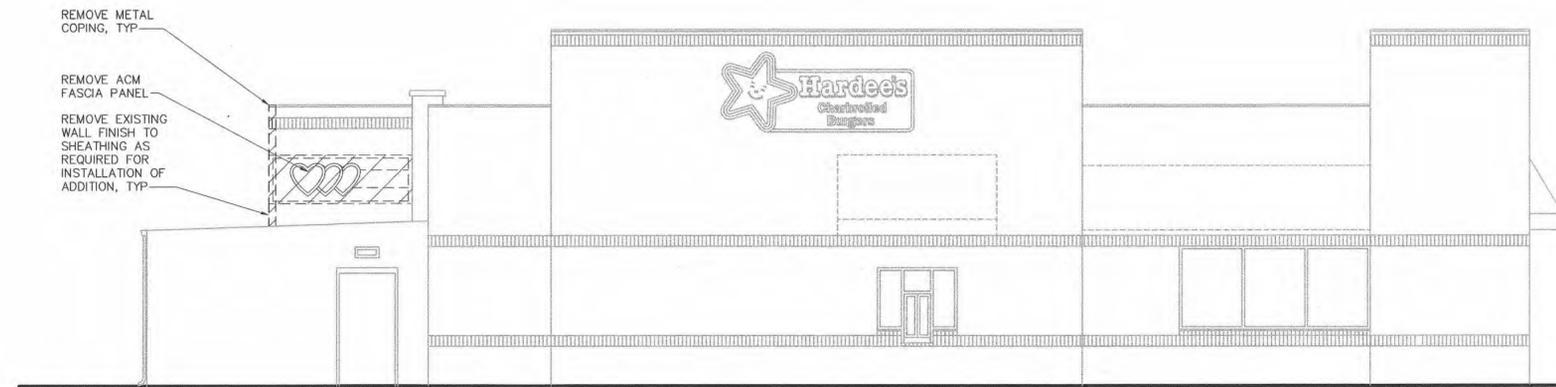
**PROFESSIONAL SEAL**

STATE OF KANSAS  
 ANDREW MAASS  
 No. 1301071195  
 LICENSED ARCHITECT

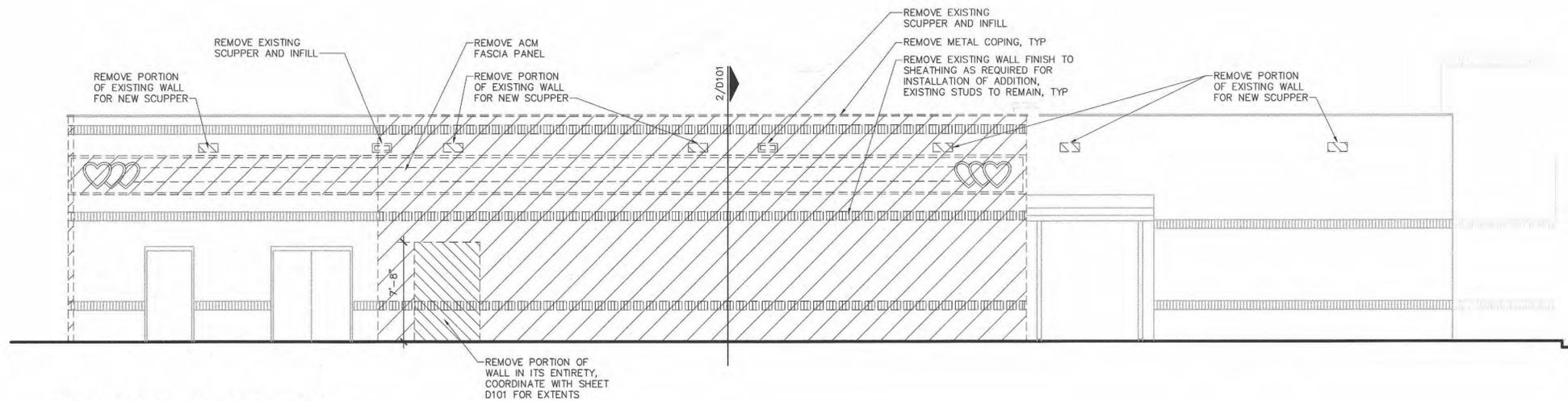
**DEMOLITION EXTERIOR ELEVATIONS**

SHEET: **D102**

Jan 13, 2021 - 9:25pm - USER: scrina.shanks  
 N:\Love's Travel Stops\Marshall MI #336 63203360\6 - CAD\Sheets\D103 DEMOLITION EXTERIOR ELEVATIONS-336.dwg



2 SIDE ELEVATION  
 3/16" = 1'-0"



1 REAR ELEVATION  
 3/16" = 1'-0"

LEGEND

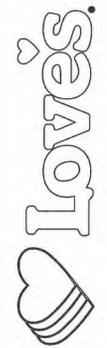
- EXISTING TO BE DEMOLISHED
- EXISTING TO REMAIN
- [Hatched Box] AREA TO BE REMOVED
- [Hatched Box] AREA OF WALL REMOVAL

brr

Architect of Record:  
 ANDREW MAASS  
 8131 Metcalf Avenue  
 Suite 300  
 Overland Park, KS 66204  
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 Tel: 913-262-9055  
 Fax: 913-262-9044

STIPULATION FOR REUSE  
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CONSULTANT LOGO



MARSHALL, MI  
 STORE NO. 336

JOB NUMBER: 63203360 PROJECT TYPE: REMODEL

ISSUE BLOCK		
NO.	DATE	DESCRIPTION

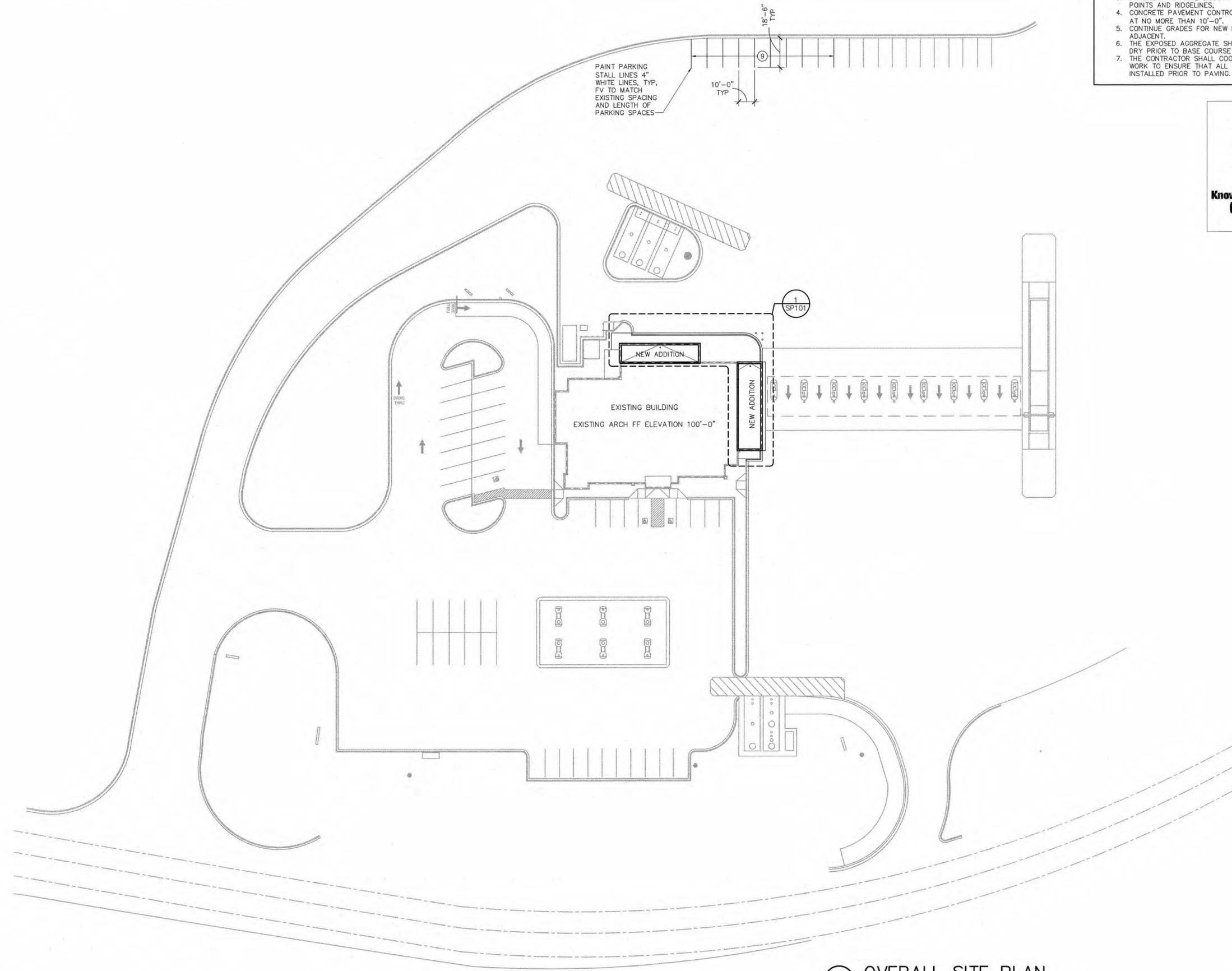
CHECKED BY: PDB  
 DRAWN BY: SS  
 DOCUMENT DATE: 01/12/2021  
 PROTO TYPE: TIER 1-90, REMODEL  
 PROTO CYCLE: 2020 QUARTER 3



DEMOLITION EXTERIOR ELEVATIONS

SHEET: D103

Jan 12, 2021 - 8:30pm - USER oshleyweber  
 N:\Love's Travel Stops\Marshall MI #336 63203360\6 - CAD\Sheets\SP100 OVERALL SITE PLAN-336.dwg



PAINT PARKING  
 STALL LINES 4"  
 WHITE LINES, TYP.  
 FV TO MATCH  
 EXISTING SPACING  
 AND LENGTH OF  
 PARKING SPACES

10'-0"  
 TYP

18'-6"  
 TYP

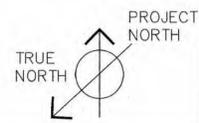
EXISTING BUILDING  
 EXISTING ARCH FF ELEVATION 100'-0"

NEW ADDITION

NEW ADDITION

1  
 SP101

1 OVERALL SITE PLAN  
 1" = 30'-0"



SHEET NOTES

1. ALL CONCRETE ON-SITE TO HAVE BROOM FINISH.
2. SEAL ALL NEW CONCRETE 30 DAYS AFTER CONCRETE IS POURED. REFERENCE SPECIFICATIONS.
3. PAVEMENT TO HAVE SMOOTH TRANSITIONS THROUGH LOW POINTS AND RIDGELINES.
4. CONCRETE PAVEMENT CONTROL JOINTS SHALL BE SPACED AT NO MORE THAN 10'-0".
5. CONTINUE GRADES FOR NEW PAVEMENT TO MATCH ADJACENT.
6. THE EXPOSED AGGREGATE SHALL NOT BE ALLOWED TO DRY PRIOR TO BASE COURSE PAVEMENT.
7. THE CONTRACTOR SHALL COORDINATE WITH ALL OTHER WORK TO ENSURE THAT ALL UNDERGROUND UTILITIES ARE INSTALLED PRIOR TO PAVING.



Know what's below.  
 Call before you dig.

brr

Architect of Record:  
 ANDREW MAASS

8131 Metcalf Avenue  
 Suite 300  
 Overland Park, KS 66204  
 www.brrarch.com  
 Tel: 913-262-9095  
 Fax: 913-262-9044

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CONSULTANT LOGO



MARSHALL, MI  
 STORE NO. 336

JOB NUMBER: 63203360 PROJECT TYPE: REMODEL

ISSUE BLOCK

NO.	DATE	DESCRIPTION

CHECKED BY: PDB  
 DRAWN BY: SS  
 DOCUMENT DATE: 01/12/2021  
 PROTO TYPE: TIER 1-90, REMODEL  
 PROTO CYCLE: 2020 QUARTER 3

PROFESSIONAL SEAL



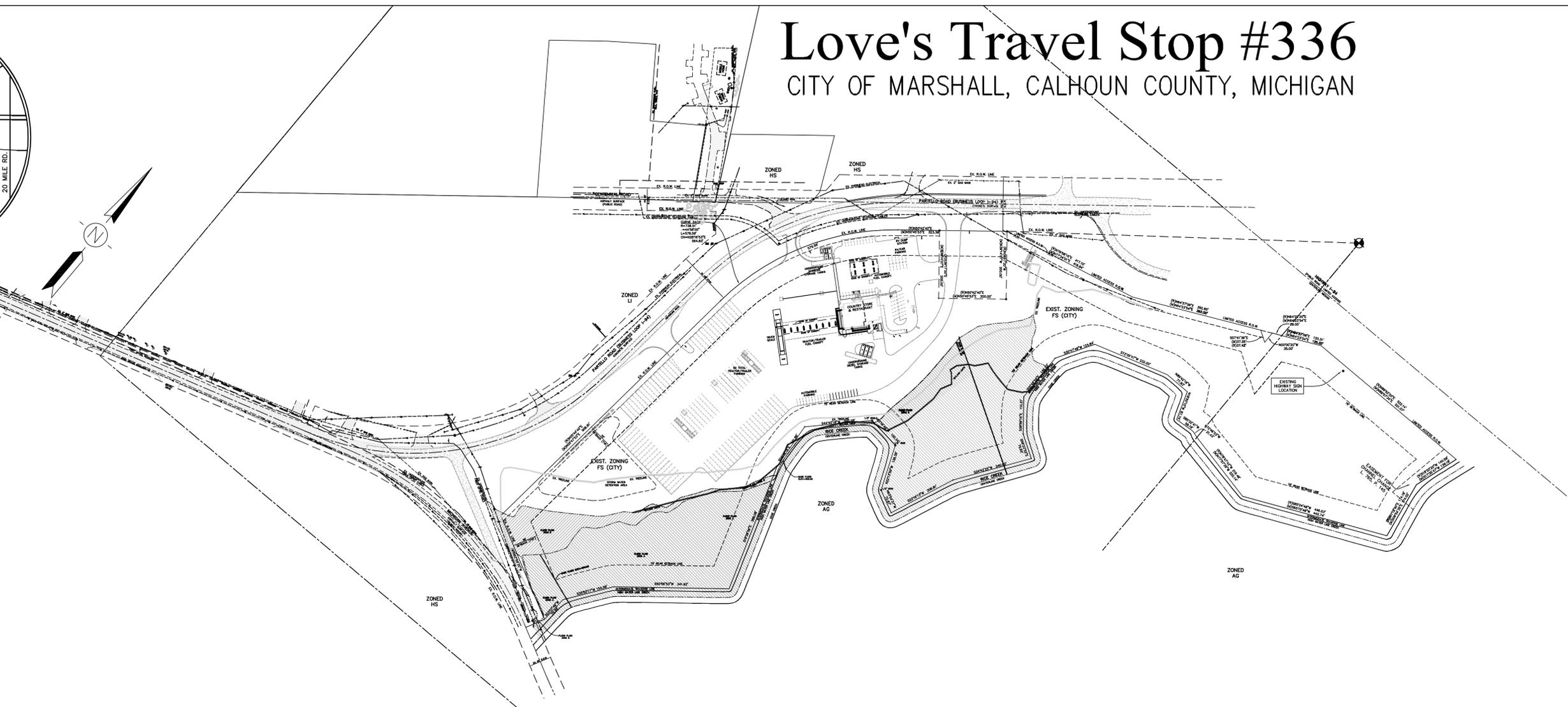
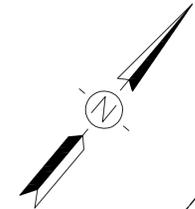
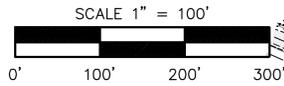
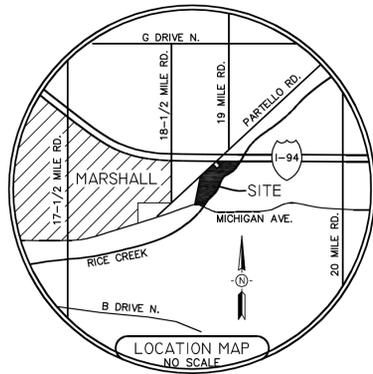
OVERALL SITE PLAN

SHEET:  
 SP100



# Love's Travel Stop #336

## CITY OF MARSHALL, CALHOUN COUNTY, MICHIGAN



**EXIST. STRUCTURE INVENTORY**

SAN. MH #1  
T.C. 226.3  
67° NE 919.4  
5" WEST 919.4

SAN. MH #2  
T.C. 925.9  
67° NORTH 920.5  
6" NE 920.0  
10" SW 920.0

**LEGEND**

- = SET 1/2" "KEBS" BAR & CAP
- = FOUND IRON AS NOTED
- = DEED LINE
- = DISTANCE NOT TO SCALE
- ▭ = ASPHALT
- = EXISTING SPOT ELEVATION
- = EXISTING CONTOUR ELEVATION
- = SANITARY SEWER
- = STORM SEWER
- = OVERHEAD WIRES
- ⊙ = SANITARY MANHOLE
- ⊕ = UTILITY POLE
- ⊖ = UTILITY PEDESTAL

**LEGEND**

- = PROPOSED WATER MAIN
- = PROPOSED SANITARY SEWER
- = PROPOSED STORM SEWER
- ⊕ = PROPOSED HYDRANT
- ⊕ = PROPOSED GATE VALVE
- ⊕ = PROPOSED SAN. M.H.
- ⊕ = PROPOSED STORM M.H.
- ⊕ = PROPOSED C.B.
- = PROPOSED GRADES
- = PROPOSED FIRST FLOOR ELEV.
- = PROPOSED TOP OF CURB ELEV.
- = PROPOSED TOP OF GROUND ELEV.
- = PROPOSED TOP OF PAVT ELEV.
- = PROPOSED TOP OF WALK ELEV.
- ⊕ = DENOTES S.E.S.C. KEYING SYSTEM

THIS PARCEL LIES PARTIALLY IN ZONES A AND B ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR THE MARENGO TOWNSHIP, CALHOUN COUNTY, MICHIGAN, COMMUNITY PANEL NUMBER 260563 0010 A, DATED MAY 17, 1982. FLOOD ZONE "A" IS THE AREA OF 100 YEAR FLOOD, WITH BASE ELEVATION SHOWN. FLOOD ZONE "B" IS THE AREA BETWEEN LIMITS OF 100 YEAR FLOOD AND 500 YEAR FLOOD, OR AREA WITHIN 100 YEAR FLOOD, WITH AVERAGE DEPTH LESS THAN 1 FOOT.

**BENCHMARKS**

- BM #1  
MAG NAIL E'LY SIDE OF UTILITY POLE.  
ELEV. = 907.73
- BM #2  
MAG NAIL E'LY SIDE OF UTILITY POLE.  
ELEV. = 916.56

**LEGAL DESCRIPTION**

**Tract 1**

Legal Description (as surveyed):  
A parcel of land in the Southeast 1/4 of Section 19, and the Southwest 1/4 of Section 20, Town 2 South, Range 5 West, Marengo Township, Calhoun County, Michigan being described as follows: Commencing at the East 1/4 Corner of Section 19, T2S, R5W; thence S00°00'20"E, 355.33 feet along the East line of said Section 19 to the Southerly right-of-way line of Ramp "A" of Highway I-94; thence along said right-of-way line for the following two courses: 1) S64°23'54"E, 120.32 feet (recorded as N64°37'08"E, 121.31 feet) along the Southerly right-of-way line of Ramp "A" of Highway I-94; thence N89°57'34"E, 521.07 feet (recorded as N89°52'20"E, 522.14 feet) along the Southerly line of Highway I-94 to an intermediate traverse line along the Northerly & Westerly bank of Rice Creek; thence along said traverse line for the following twenty-four courses: 1) S17°35'47"W, 139.18 feet, 2) S09°54'35"E, 174.02 feet, 3) S65°15'48"W, 442.74 feet, 4) N77°57'29"W, 220.14 feet, 5) N72°46'53"W, 21.43 feet, 6) S85°32'41"W, 59.19 feet, 7) N15°01'5"W, 87.74 feet, 8) N89°42'18"W, 77.83 feet, 9) S72°35'47"W, 232.20 feet, 10) S30°47'49"W, 124.84 feet, 11) S00°48'59"E, 146.03 feet, 12) S38°59'15"E, 110.21 feet, 13) S58°22'52"E, 75.65 feet, 14) S34°42'25"W, 240.02 feet, 15) S22°16'13"W, 206.91 feet, 16) N63°54'37"W, 72.87 feet, 17) N22°13'59"W, 138.39 feet, 18) N83°16'49"W, 100.34 feet, 19) S44°45'18"W, 200.28 feet, 20) S04°48'18"E, 141.96 feet, 21) S18°28'56"E, 388.08 feet, 22) S50°56'53"W, 341.92 feet, 23) S35°50'17"W, 154.09 feet, 24) S03°07'49"W, 79.99 feet to the Northerly right-of-way line of Michigan Avenue; thence N62°53'37"W, 332.40 feet (recorded as N62°59'20"W) along said right-of-way line to the Easterly right-of-way way line of Partello Road (also known as Highway I-94 Business Loop); thence along said right-of-way line for the following three courses: 1) N05°47'53"E, 906.81 feet (recorded as N05°44'40"E), 2) Northeasterly, 579.59 feet along the arc of a curve to the right, said curve having a radius of 738.51 feet, a delta angle of 44°58'00", and a chord bearing N28°16'53"E, 564.83 feet, 3) N50°45'53"E, 123.39 feet (recorded as N50°42'40"E); thence S39°14'07"E, 200.00 feet (recorded as S39°17'20"E); thence N50°45'53"E, 200.00 feet (recorded as N50°42'40"E); thence N39°14'07"W, 200.00 feet (recorded as N39°17'20"W) to the Southerly right-of-way line of Ramp "A" of Highway I-94; thence along said right-of-way line for the following two courses: 1) N77°34'01"E, 418.84 feet (recorded as N76°58'15"E, 417.10 feet), 2) N64°23'54"E, 392.00 feet (recorded as N64°37'08"E); thence S57°41'36"E, 37.26 feet (recorded as 37.42 feet); thence N00°00'20"W, 35.00 feet to the Southerly right-of-way line of Ramp "A"; thence N64°23'54"E, 29.00 feet (recorded as N64°37'08"E) along said right-of-way line to the point of beginning; said parcel containing 30.79 acres (1,341,179 s.f.), more or less (area computed to traverse line along Rice Creek); said parcel also contains all land lying between the traverse line and the centerline of Rice Creek; said parcel being subject to an easement for a channel change as recorded in Liber 765, Page 145 in the Office of the Register of Deeds for Calhoun County, Michigan; said parcel also being subject to a 20 foot wide easement as recorded in Liber 1056, Page 288 in the Office of Register of Deeds for Calhoun County, Michigan; said parcel being subject to any other easements or restrictions of use or record.

**Tract 2**

Parcel No. 1 Legal Description (as surveyed):  
A parcel of land in the Southeast 1/4 of Section 19, Town 2 South, Range 5 West, Marengo Township, Calhoun County, Michigan being described as follows: Commencing at the East 1/4 Corner of Section 19, T2S, R5W; thence S00°00'20"E, 355.33 feet along the East line of said Section 19 to the Southerly right-of-way line of Ramp "A" of Highway I-94; thence along said right-of-way line for the following two courses: 1) S64°23'54"W, 458.26 feet (recorded as S64°37'08"W), 2) S77°34'01"W, 418.84 feet (recorded as S76°58'15"W, 417.10 feet) to the Easterly right-of-way line of Partello Road (also known as Highway I-94 Business Loop) and the point of beginning of the following described parcel; thence S53°17'20"W, 200.00 feet (recorded as S39°14'07"W); thence S50°45'53"W, 200.00 feet (recorded as S50°42'40"W); thence N39°14'07"W, 200.00 feet (recorded as N39°17'20"W) to the Easterly right-of-way line of Partello Road (also known as Highway I-94 Business Loop); thence N50°45'53"E, 200.00 feet (recorded as N50°42'40"E) along said right-of-way line to the point of beginning; said parcel containing 0.92 acres (40,000 s.f.) more or less; said parcel being together with a 20 foot wide easement as described below; said parcel being subject to any easements or restrictions of use or record.

Parcel No. 2 Legal Description (as surveyed):  
A parcel of land in the Southeast 1/4 of Section 19, Town 2 South, Range 5 West, Marengo Township, Calhoun County, Michigan being described as follows: Commencing at the East 1/4 Corner of Section 19, T2S, R5W; thence S00°00'20"E, 355.33 feet along the East line of said Section 19 to the Southerly right-of-way line of Ramp "A" of Highway I-94; thence along said right-of-way line S64°23'54"W, 29.00 feet (recorded as S64°37'08"W) to the point of beginning of the following described parcel; thence S00°00'20"E, 35.00 feet; thence N57°41'36"W, 37.26 feet (recorded as 37.42 feet) to the Southerly right-of-way line of Ramp "A" of Highway I-94; thence N64°23'54"E, 34.92 feet (recorded as N64°37'08"E, 35.00 feet) to the point of beginning; said parcel containing 0.01 acres (551 s.f.) more or less; said parcel being together with a 20 foot wide easement as described below; said parcel being subject to any easements or restrictions of use or record.

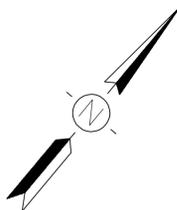
**SHEET INDEX:**  
C1. OVERALL PLAN  
C2. SITE DIMENSION PLAN  
C3. UTILITY PLAN

**ENGINEER/SURVEYOR:**  
KEBS, Inc.  
2116 HASLETT RD.  
HASLETT, MI. 48840  
PH: (517) 339-1014  
FAX: (517) 339-8047

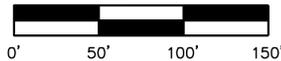
**SITE: 18720 PARTELLA RD, MARSHALL, MI 49068**

	<b>REVISIONS</b> 01/27/21 SUBMITTAL		504 LANSING ROAD, CHARLOTTE, MI 48813 PH. 517-543-7076 FAX. 517-543-7023 Haslett Office Ph. 517-339-1014 Marshall Office Ph. 269-781-9800
	<b>LOVE'S TRAVEL STOP #336</b> OVERALL PLAN		
SCALE: 1"=100' DATE: 01/31/05 AUTHORIZED BY:		DRAWN BY: JGH PROJECT MGR: ALLEN PATRICK APPROVED BY: AJP SHEET: C1 JOB #: 04E-75167	





SCALE 1" = 50'



**SITE DATA**

SITE AREA = 1,341,174 SQ. FT. OR 30.78 AC.  
EXISTING ZONING = FS (CITY FREEWAY SERVICE)  
SURROUNDING PARCELS ZONED LI, MH & HS

**SETBACKS**

FRONT - 75 FEET  
SIDES - 75 FEET  
REAR - 75 FEET

**BUILDING DATA**

EX. BUILDING = 7,865 S.F.  
(2,909 S.F. RESTAURANT, 4,956 S.F. RETAIL)  
RETAIL ADDITION = 1,396 S.F.  
TOTAL BLDG = 9,261 S.F.  
BUILDING COVERAGE = 0.69%  
MAXIMUM HEIGHT = 40 FEET  
EX. HEIGHT = 24 FT., PROP. ADDITION 17'-4"

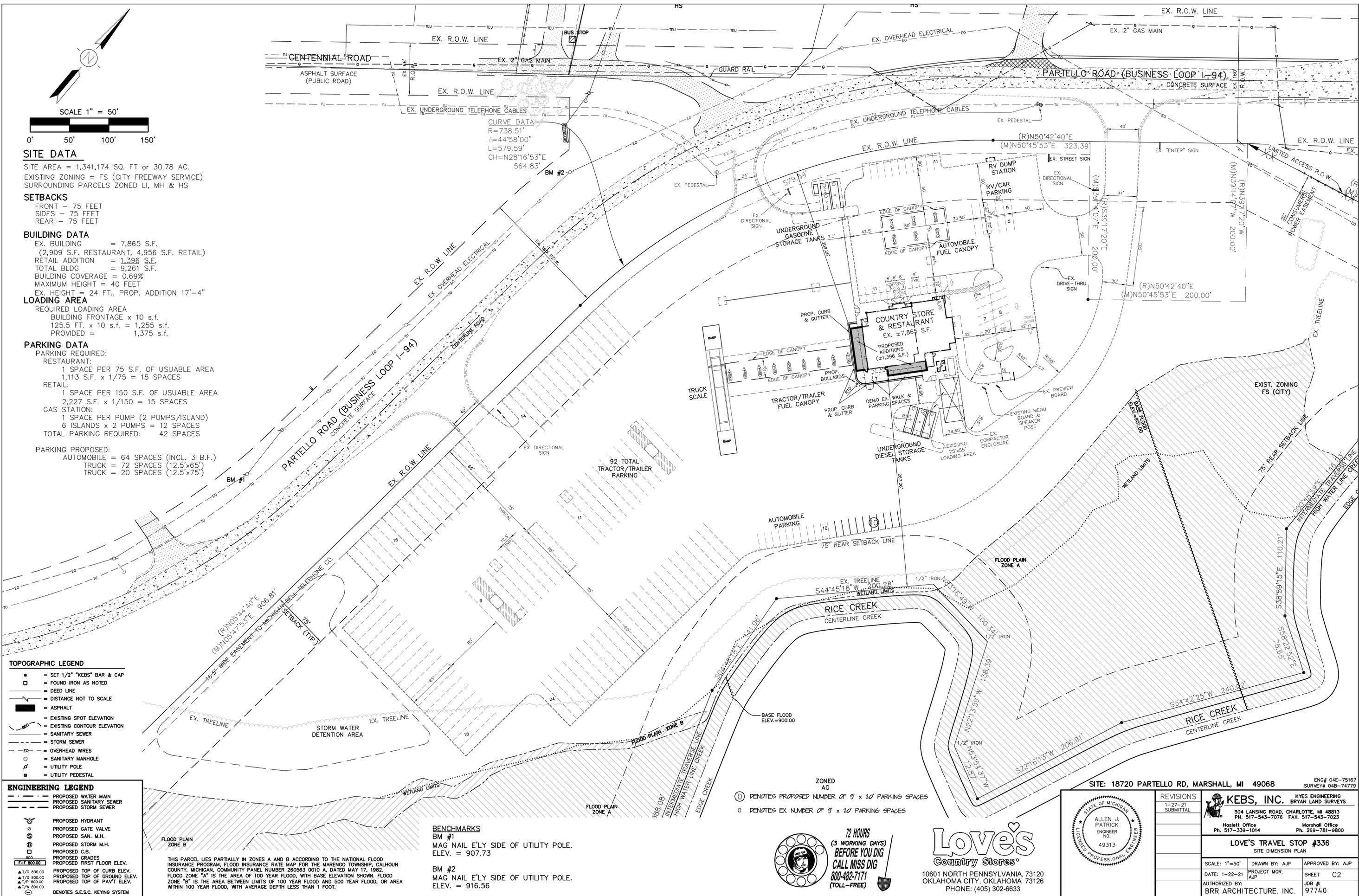
**LOADING AREA**

REQUIRED LOADING AREA  
BUILDING FRONTAGE x 10 s.f.  
125.5 FT. x 10 s.f. = 1,255 s.f.  
PROVIDED = 1,375 s.f.

**PARKING DATA**

PARKING REQUIRED:  
RESTAURANT:  
1 SPACE PER 75 S.F. OF USABLE AREA  
1,113 S.F. x 1/75 = 15 SPACES  
RETAIL:  
1 SPACE PER 150 S.F. OF USABLE AREA  
2,227 S.F. x 1/150 = 15 SPACES  
GAS STATION:  
1 SPACE PER PUMP (2 PUMPS/ISLAND)  
6 ISLANDS x 2 PUMPS = 12 SPACES  
TOTAL PARKING REQUIRED: 42 SPACES

PARKING PROPOSED:  
AUTOMOBILE = 64 SPACES (INCL. 3 B.F.)  
TRUCK = 72 SPACES (12.5'x65')  
TRUCK = 20 SPACES (12.5'x75')



**TOPOGRAPHIC LEGEND**

- = SET 1/2" "KEBS" BAR & CAP
- ◻ = FOUND IRON AS NOTED
- = DEED LINE
- = DISTANCE NOT TO SCALE
- = ASPHALT
- = EXISTING SPOT ELEVATION
- = EXISTING CONTOUR ELEVATION
- = SANITARY SEWER
- = STORM SEWER
- = OVERHEAD WIRES
- ⊙ = SANITARY MANHOLE
- ⊙ = UTILITY POLE
- ⊙ = UTILITY PEDESTAL

**ENGINEERING LEGEND**

- = PROPOSED WATER MAIN
- = PROPOSED SANITARY SEWER
- = PROPOSED STORM SEWER
- ⊙ = PROPOSED HYDRANT
- ⊙ = PROPOSED GATE VALVE
- ⊙ = PROPOSED SAN. M.H.
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- ⊙ = PROPOSED GRADES
- ⊙ = PROPOSED FIRST FLOOR ELEV.
- ⊙ = PROPOSED TOP OF CURB ELEV.
- ⊙ = PROPOSED TOP OF GROUND ELEV.
- ⊙ = PROPOSED TOP OF PAYV ELEV.
- ⊙ = DENOTES S.E.C. KEYING SYSTEM

THIS PARCEL LIES PARTIALLY IN ZONES A AND B ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR THE MARENGO TOWNSHIP, CALHOUN COUNTY, MICHIGAN, COMMUNITY PANEL NUMBER 280563 0010 A, DATED MAY 17, 1982. FLOOD ZONE "A" IS THE AREA OF 100 YEAR FLOOD, WITH BASE ELEVATION SHOWN. FLOOD ZONE "B" IS THE AREA BETWEEN LIMITS OF 100 YEAR FLOOD AND 500 YEAR FLOOD, OR AREA WITHIN 100 YEAR FLOOD, WITH AVERAGE DEPTH LESS THAN 1 FOOT.

**BENCHMARKS**  
BM #1  
MAG NAIL E'LY SIDE OF UTILITY POLE.  
ELEV. = 907.73  
  
BM #2  
MAG NAIL E'LY SIDE OF UTILITY POLE.  
ELEV. = 916.56

ZONED AG  
⊙ DENOTES PROPOSED NUMBER OF 9' x 10' PARKING SPACES  
○ DENOTES EX. NUMBER OF 9' x 10' PARKING SPACES



**Love's Country Stores**  
10601 NORTH PENNSYLVANIA, 73120  
OKLAHOMA CITY, OKLAHOMA 73126  
PHONE: (405) 302-6633

**STATE OF MICHIGAN**  
ALLEN J. PATRICK  
ENGINEER NO. 49313  
LICENSED PROFESSIONAL ENGINEER

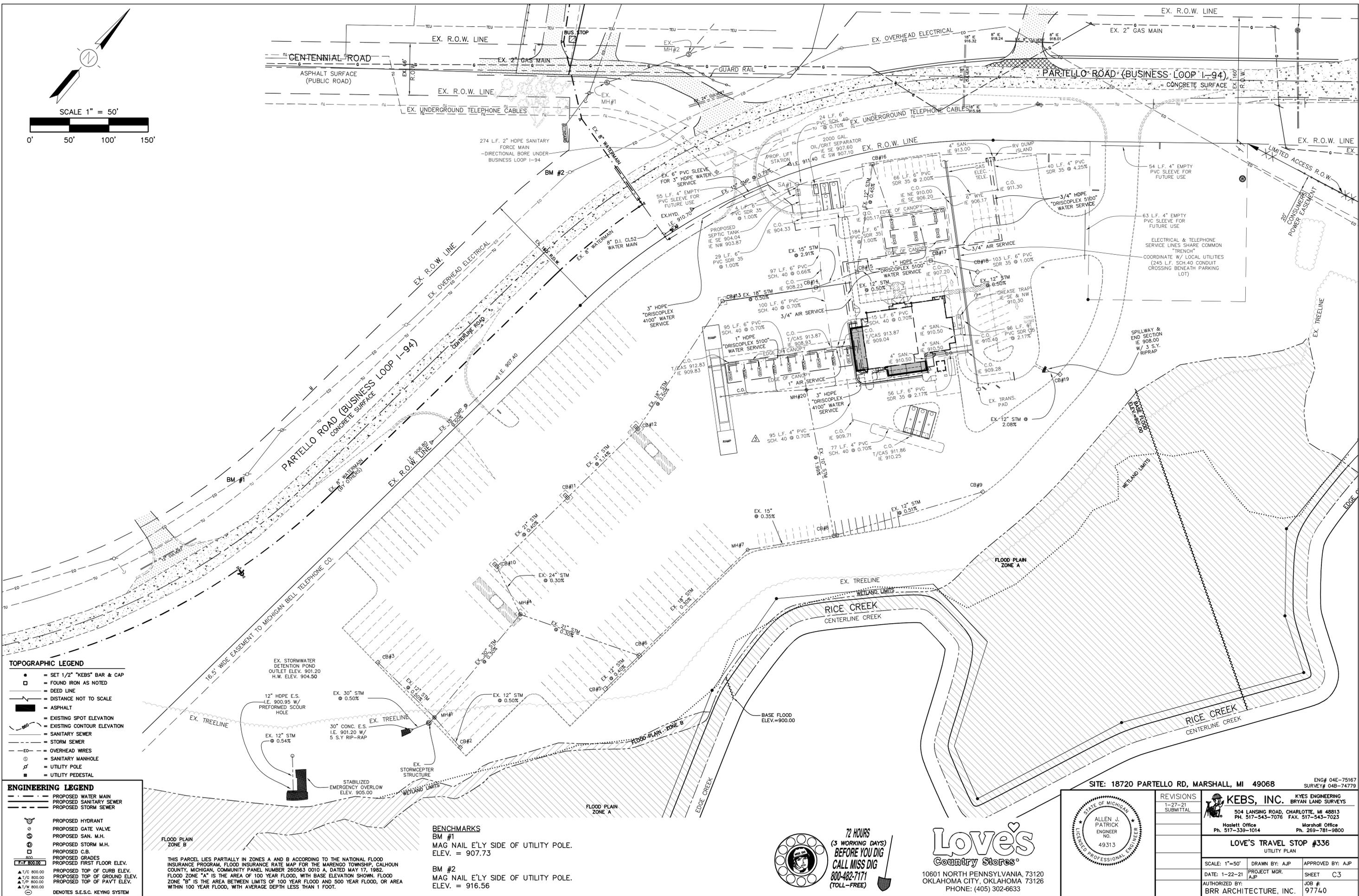
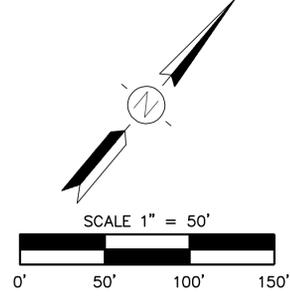
**REVISIONS**  
1-27-21 SUBMITTAL

**KEYS, INC.** KYES ENGINEERING  
BRYAN LAND SURVEYS  
504 LANSING ROAD, CHARLOTTE, MI 48813  
PH. 517-543-7076 FAX. 517-543-7023  
Haslett Office Ph. 517-339-1014 Marshall Office Ph. 269-781-9800

**LOVE'S TRAVEL STOP #336**  
SITE DIMENSION PLAN

SCALE: 1"=50' DRAWN BY: AJP APPROVED BY: AJP  
DATE: 1-22-21 PROJECT MGR. AJP SHEET C2  
AUTHORIZED BY: BRR ARCHITECTURE, INC. JOB #: 97740

SITE: 18720 PARTELLA RD, MARSHALL, MI 49068  
ENG# 04E-75167 SURVEY# 04B-74779



- TOPOGRAPHIC LEGEND**
- = SET 1/2" "KEBS" BAR & CAP
  - = FOUND IRON AS NOTED
  - = DEED LINE
  - = DISTANCE NOT TO SCALE
  - = ASPHALT
  - = EXISTING SPOT ELEVATION
  - = EXISTING CONTOUR ELEVATION
  - = SANITARY SEWER
  - = STORM SEWER
  - = OVERHEAD WIRES
  - ⊙ = SANITARY MANHOLE
  - ⊙ = UTILITY POLE
  - ⊙ = UTILITY PEDESTAL

- ENGINEERING LEGEND**
- = PROPOSED WATER MAIN
  - = PROPOSED SANITARY SEWER
  - = PROPOSED STORM SEWER
  - ⊙ = PROPOSED HYDRANT
  - ⊙ = PROPOSED GATE VALVE
  - ⊙ = PROPOSED SAN. M.H.
  - ⊙ = PROPOSED STORM M.H.
  - ⊙ = PROPOSED C.B.
  - ⊙ = PROPOSED GRADES
  - ⊙ = PROPOSED FIRST FLOOR ELEV.
  - ⊙ = PROPOSED TOP OF CURB ELEV.
  - ⊙ = PROPOSED TOP OF GROUND ELEV.
  - ⊙ = PROPOSED TOP OF PAYT ELEV.
  - ⊙ = DENOTES S.E.C. KEYING SYSTEM

THIS PARCEL LIES PARTIALLY IN ZONES A AND B ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR THE MARENGO TOWNSHIP, CALHOUN COUNTY, MICHIGAN, COMMUNITY PANEL NUMBER 280563 0010 A, DATED MAY 17, 1982. FLOOD ZONE "A" IS THE AREA OF 100 YEAR FLOOD, WITH BASE ELEVATION SHOWN. FLOOD ZONE "B" IS THE AREA BETWEEN LIMITS OF 100 YEAR FLOOD AND 500 YEAR FLOOD, OR AREA WITHIN 100 YEAR FLOOD, WITH AVERAGE DEPTH LESS THAN 1 FOOT.

**BENCHMARKS**  
 BM #1  
 MAG NAIL E'LY SIDE OF UTILITY POLE.  
 ELEV. = 907.73  
 BM #2  
 MAG NAIL E'LY SIDE OF UTILITY POLE.  
 ELEV. = 916.56



**Love's Country Stores**  
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 OKLAHOMA CITY, OKLAHOMA 73126  
 PHONE: (405) 302-6633

SITE: 18720 PARTELLO RD, MARSHALL, MI 49068

ENG# 04E-75167  
 SURVEY# 04B-74779

ALLEN J. PATRICK  
 ENGINEER  
 NO. 49313  
 LICENSED PROFESSIONAL ENGINEER

REVISIONS	1-27-21 SUBMITTAL
SCALE: 1"=50'	DRAWN BY: AJP
DATE: 1-22-21	PROJECT MGR. AJP
AUTHORIZED BY: BRR ARCHITECTURE, INC.	JOB #: 97740

**KEBS, INC.** KYES ENGINEERING  
 BRYAN LAND SURVEYS  
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 Marshall Office Ph. 269-781-9800

**LOVE'S TRAVEL STOP #336**  
 UTILITY PLAN

APPROVED BY: AJP  
 SHEET C3