

MARSHALL CITY PLANNING COMMISSION
Wednesday, May 11, 2022 at 7:00 p.m.
City Hall, Council Chambers, 323 W. Michigan Ave., Marshall, MI

Call to Order

Roll Call

Approval of Agenda

Regular Meeting of the Planning Commission, May 11, 2022

Approval of Minutes

Minutes from the Special Meeting of March 2, 2022

Minutes from the Regular Meeting of March 9, 2022

Public Comments on Agenda Items

Public Hearings

New Business

1. Receive and consider Site Plan application #SP22.01 for Kellogg Credit Union at 107 N. Park Avenue.

Old Business

Public Comment on Non-Agenda Items

Reports

Adjournment

**MINUTES
MARSHALL CITY PLANNING COMMISSION
WEDNESDAY, MARCH 2, 2022**

In a special session, Wednesday, March 2, 2022 at 7:00 p.m. at City Hall, Council Chambers, 323 West Michigan Avenue, Marshall, Michigan, the Marshall Planning Commission was called to order by Vice Chair McNiff.

ROLL CALL

Members Present: Commissioners Burke-Smith, Fitzgerald, Hall, Longyear, McNiff, Reed, Zuck, C Zuzga and Council Liaison Wolfersberger

Members Absent: Chair Banfield

Staff Present: Trisha Nelson, Planning & Zoning Administrator
Eric Zuzga, Director of Community Services

AGENDA

MOTION by Zuck, supported by Burke-Smith, to accept the agenda for the Wednesday, March 2, 2022 special meeting as presented. On voice vote; **MOTION CARRIED.**

PUBLIC COMMENTS ON AGENDA ITEMS

None

PUBLIC HEARINGS

Vice Chair McNiff opened the Public Hearing on Zoning Amendment Request #RZ22.01 for 108 N. Park Avenue and 302 W. Michigan Avenue to rezone from POSD-Professional Office Service District to B-3 Neighborhood Commercial District. Hearing no public comment Vice Chair McNiff closed the Public Hearing on Zoning Amendment Request #RZ22.01 for 108 N. Park Avenue and 302 W. Michigan Avenue to rezone from POSD-Professional Office Service District to B-3 Neighborhood Commercial District.

Vice Chair McNiff opened the Public Hearing on Zoning Amendment Request #RZ22.02 for 111 N. Grand to rezone from POSD-Professional Office Service District to R-3 Traditional Residential. Hearing no public comment Vice Chair McNiff closed the Public Hearing on Zoning Amendment Request #RZ22.02 for 111 N. Grand to rezone from POSD-Professional Office Service District to R-3 Traditional Residential.

NEW BUSINESS

MOTION by Burke-Smith, supported by Fitzgerald to recommend Zoning Amendment Request #RZ22.01 for 108 N. Park Avenue and 302 W. Michigan Avenue to rezone from POSD-Professional Office Service District to B-3 Neighborhood Commercial District to City Council.

Nelson stated that the petitioner, Janet Ostrum, would like to put an addition on to her building at 108 N Park and that due to the number of variances that would be needed for the project and the use of the building that rezoning the parcel is better suited for their needs. She further stated that the addition would include a

garage with an apartment over the top. She stated that the reason for rezoning 302 W Michigan is to bring it in line with the area and to avoid an instance of spot zoning. McNiff questioned if parking would be expanded. Nelson stated that there are 2 parking spots on the property and a public parking lot across the way. Fitzgerald questioned where customers are currently parking. Ostrum state that they will sometimes park in the spots on the property and sometimes in the parking lot. She further stated that when Park was turned into a one-way street in front of her property that it made the traffic situation more streamlined. McNiff questioned what the maximum number of people that are in the petitioner's business at any one time. Ostrum stated that on the high end there may be 8-10, but not generally all at the same time. She further stated that they do receive deliveries but that with the way traffic moves it has never been an issue and that the proposed garage addition would help with the receiving and storage of deliveries.

Reed questioned how the new zoning would fit better. Nelson stated that POSD is for different types of office buildings, including medical, accounting and law, and the petitioner's business is predominately retail, so rezoning to B3 is a better fit for the combined retail and living space which is being sought. Wolfersberger stated that chair Banfield had some stated in the past that he had some reservations about the distances between the new addition that just went in to Bud's and the proposed new addition on Park. Nelson stated that there has been discussion with both builders and it was determined that it would be up to the building department to determine distances. She further stated that there would be fire walls on both properties due to the close proximity of the buildings. Ostrum stated that they have also moved their project back one foot from the property line. McNiff questioned if Bud's was ok with the rezoning happening on their behalf. Nelson stated that they are for it.

The commission went over the rezoning criteria.

A. The Proposed zoning district is more appropriate than any other zoning district, or more appropriate than adding the desired use as a special land use in the existing zoning district. *The commission agreed that for the Park St property it is more appropriate than the what is currently there and that on the W Michigan property, it allows for more opportunities in the future, while eliminating a possible spot zoning.*

B. The property cannot be reasonably used as zoned. *The commission agreed that it could be used as zoned, but that the nee zoning would put the parcels to better use.*

C. The proposed zone change is supported by and consistent with the goals, policies and future land use map of the adopted City Master Plan. If conditions have changed since the plan was adopted, as determined by the Planning Commission. the consistency with recent development trends in the area shall be considered. *The commission agreed that it is consistent with the land use map and that conditions have changed in that there is a house shortage at the moment, and changing to B3 would allow more to be created.*

D. The proposed zone change is compatible with the established land use pattern, surrounding uses, and surrounding zoning in terms of land suitability, impacts on the environment. density, nature of use, traffic impacts, aesthetics, infrastructure and potential influence on property values, and is consistent with the needs of the community. *The commission agreed that it is compatible, as it's not changing the use other than to add residential space to 108 Park, while leaving the possibility for a combined residential space open at 302 W Michigan.*

E. All the potential uses allowed in the proposed zoning district are compatible with the site's physical, geological, hydrological and other environmental features. *The commission agreed that it is compatible, as there will be no real changes.*

F. The change would not severely impact traffic, public facilities, utilities, and the natural characteristics of the area, or significantly change population density, and would not compromise the health, safety, and welfare of the City. *The commission agreed that there would be no changes that would make any impact.*

G. The rezoning would constitute and create an isolated and unplanned district contrary to the City Master Plan which may grant a special privilege to one landowner not available to others. *The commission agreed that rezoning both at the same time eliminates a potential spot zoning issue, while extending the current B3 district.*

H. The change of present district boundaries is consistent in relation to existing uses, and construction on the site will be able to meet the dimensional regulations for the proposed zoning district listed in the schedule of regulations. *The commission agreed it is consistent with the existing uses, and that even with the short setbacks, the construction that is desired could be accomplished.*

I. There was a mistake in the original zoning classification, or a change of conditions in the area supporting the proposed rezoning. *The commission agreed that there was no mistake, but that the rezoning brings it in line with the neighboring area and adds needed residential space.*

J. Adequate sites are neither properly zoned nor available elsewhere to accommodate the proposed uses permitted in the requested zoning district. *The commission agreed that there is not enough space for residential in the city.*

MOTION by Burke-Smith, supported by Fitzgerald to recommend Zoning Amendment Request #RZ22.01 for 108 N. Park Avenue and 302 W. Michigan Avenue to rezone from POSD-Professional Office Service District to B-3 Neighborhood Commercial District to City Council. On a roll call vote; ayes- Burke-Smith, Fitzgerald, Hall, Longyear, McNiff, Reed, Zuck, C Zuzga; nays- none; **MOTION CARRIED.**

MOTION by Burke-Smith, supported by Reed to recommend Zoning Amendment Request #RZ22.02 for 111 N. Grand to rezone from POSD -Professional Office Service District to R-3 Traditional Residential to City Council.

Nelson stated that the two properties directly to the north of this property had both been rezoned to R3 within the last year and a half, so this brings it in line with the district. McNiff stated that it will be moving from a group home to a single-family home, but that the accommodations currently in the structure will be helpful to the family moving in. Fitzgerald questioned if it could revert back to an adult foster care building if that is desired at some point. C Zuzga stated that if it is a family home with 6 or less residents it would not need to be rezoned.

The commission went over the rezoning criteria.

A. The Proposed zoning district is more appropriate than any other zoning district, or more appropriate than adding the desired use as a special land use in the existing zoning district. *The commission agreed that this would take it from a legal nonconforming property to a conforming use, so it would be more appropriate.*

B. The property cannot be reasonably used as zoned. *The commission agreed that the building that currently exists on the property could not be used for commercial purposes.*

C. The proposed zone change is supported by and consistent with the goals, policies and future land use map of the adopted City Master Plan. If conditions have changed since the plan was adopted, as determined by the Planning Commission. the consistency with recent development trends in the area shall be considered. *The commission agreed that it is following the trends of the neighboring parcels that have all been rezoned and that there is current need for more residential properties in the City.*

D. The proposed zone change is compatible with the established land use pattern, surrounding uses, and surrounding zoning in terms of land suitability, impacts on the environment. density, nature of use, traffic impacts, aesthetics, infrastructure and potential influence on property values, and is consistent with the needs of the community. *The commission agreed that it is compatible.*

E. All the potential uses allowed in the proposed zoning district are compatible with the site's physical. geological. hydrological and other environmental features. *The commission agreed that there will be no impact, as this will be a less intense use.*

F. The change would not severely impact traffic, public facilities, utilities, and the natural characteristics of the area, or significantly change population density, and would not compromise the health, safety. and welfare of the City. *The commission agreed that there will be no impact, as this will be a less intense use.*

G. The rezoning would constitute and create an isolated and unplanned district contrary to the City Master Plan which may grant a special privilege to one landowner not available to others. *The commission agreed that this would bring the property in line with the surrounding area.*

H. The change of present district boundaries is consistent in relation to existing uses, and construction on the site will be able to meet the dimensional regulations for the proposed zoning district listed in the schedule of regulations. *The commission agreed it is consistent with existing uses and that there is no construction planned for the property to meet setbacks.*

I. There was a mistake in the original zoning classification, or a change of conditions in the area supporting the proposed rezoning. *The commission agreed that there was no mistake,*

but that the rezoning brings it in line with the neighboring area and adds needed residential space.

J. Adequate sites are neither properly zoned nor available elsewhere to accommodate the proposed uses permitted in the requested zoning district. *The commission agreed that there are not adequate sites for residential properties in the city.*

MOTION by Burke-Smith, supported by Reed to recommend Zoning Amendment Request #RZ22.02 for 111 N. Grand to rezone from POSD -Professional Office Service District to R-3 Traditional Residential to City Council. On a roll call vote; ayes- Burke-Smith, Fitzgerald, Hall, Longyear, McNiff, Reed, Zuck, C Zuzga; nays- none; **MOTION CARRIED.**

OLD BUSINESS

PUBLIC COMMENTS NOT ON AGENDA

None

REPORTS

Burke-Smith stated that she is still concerned about needing to put something about electric vehicle charging stations in large scale building site plans. She is also concerned about the possibility of marijuana consumption lounges that she had seen in Colorado and Nevada. McNiff stated that there are ordinances against them. Burke-Smith stated that she had seen some that were combined with retail space and others that we stand alone smoking lounges. E Zuzga stated that the city ordinance does not allow for consumption facilities or for any special event usage in the city.

Nelson stated that there will be the regular meeting on March 9 for another rezoning and a special land use request. She further stated that on April 13 there will be a training session for commissioners for an hour before the meeting that will cover the basics and that more training will be scheduled as needed.

ADJOURN

Planning Commission adjourned at 7:40 p.m.

Submitted by,

Michelle Eubank

**MINUTES
MARSHALL CITY PLANNING COMMISSION
WEDNESDAY, MARCH 9, 2022**

In a regular session, Wednesday, March 9, 2022 at 7:00 p.m. at City Hall, Council Chambers, 323 West Michigan Avenue, Marshall, Michigan, the Marshall Planning Commission was called to order by Vice Chair McNiff.

ROLL CALL

Members Present: Commissioners Fitzgerald, Hall, Longyear, McNiff, Reed, Zuck, C Zuzga and Council Liaison Wolfersberger

Members Absent: Chair Banfield, Commissioner Zuck

Staff Present: Trisha Nelson, Planning & Zoning Administrator
Eric Zuzga, Director of Community Services

AGENDA

Vice Chair McNiff noted that fourth new agenda item needed to be added to approve an extension for the Oaklawn Hospital Emergency Room renovation Site Plan.

MOTION by C Zuzga, supported by Burke Smith, to accept the agenda for the Wednesday, March 9, 2022 as amended. On voice vote; **MOTION CARRIED.**

MINUTES

MOTION by Reed, supported by Fitzgerald, to accept the minutes from the February 9, 2022 regular meeting. On voice vote; **MOTION CARRIED.**

PUBLIC COMMENTS ON AGENDA ITEMS

None

PUBLIC HEARINGS

Vice Chair McNiff opened the Public Hearing for Special Land Use Application #SLU22.01 for a Group Child Care Home at 606 S Marshall Ave. Hearing no comment Vice Chair McNiff closed the Public Hearing for Special Land Use Application #SLU22.01 for a Group Child Care Home at 606 S Marshall Ave.

Vice Chair McNiff opened the Public Hearing on Zoning Amendment Request #RZ22.03 to rezone 423 Mitchell St from MFRD-Multi Family Residential District to I1 Research and Technical District. Hearing no comment Vice Chair McNiff closed the Public Hearing on Zoning Amendment Request #RZ22.03 to rezone 423 Mitchell St from MFRD-Multi Family Residential District to I1 Research and Technical District.

NEW BUSINESS

MOTION by C Zuzga, supported by Burke Smith to recommend Special Land Use Application #SLU22.01 for a Group Child Care Home at 606 S Marshall Ave to City Council.

Nelson stated that this is currently a child care facility with less than 6 children, but would like to expand to house up to 12 children, which requires a Special Land Use. She stated that there is a map in the packet that explains how vehicles would fit in the driveway and that there is a fence permit in that would meet the required 1,800 Sq Ft of play area and remove the dog kennel. She further stated that she has applied through the state for the larger license, which is pending City approval. She stated that there are no other facilities within 1,500 sq ft of the property. McNiff stated that she was surprised that 15 cars would be able to fit. Tonya Signor, 606 S Marshall, stated that the driveway is long, goes behind the house and there is an additional area where parents can turn around or park, if need be, that they are looking to possibly place gravel on. McNiff questioned if pick up and drop off was staggered. Signor stated that parents tend to stagger themselves, but it is not something that is done intentionally. McNiff questioned if there were any traffic problems with the current families. Signor stated that during the last snow storm there were some issues based on the timing of the plow truck, but there have been no other issues. Wolfersberger questioned with her drive being mostly in the Right of Way if there was a formal arrangement made. E Zuzga stated that it would be treated the same as the Montessori School on Linden, where the city does not maintain it. C Zuzga questioned if the turn around would be on private property or city property. Signor stated that she intends for it to be on private property.

MOTION by C Zuzga, supported by Burke Smith to recommend Special Land Use Application #SLU22.01 for a Group Child Care Home at 606 S Marshall Ave to City Council. On voice vote; **MOTION CARRIED.**

MOTION by Reed, supported by Burke Smith to recommend Zoning Amendment Request #RZ22.03 to rezone 423 Mitchell St from MFRD-Multi Family Residential District to I1 Research and Technical District to City Council.

Nelson stated that Josh Karaba purchased both 423 and 421 Mitchell St, with 421 Mitchell currently being zoned industrial. She further stated that in 2005 there was a rezoning of Mitchell and S Mulberry to create a buffer zone between the industrial area heading into the commercial and residential areas. She stated that Karaba would like to put a storage facility on the parcels, which is allowed as a Special Land Use in the I1 district. She stated there is currently a pole barn on one of the lots and that eventually the plan is to combine the two parcels into one. McNiff stated that she believes it is a consistent use given the area.

The Commission went over the rezoning criteria.

A. The Proposed zoning district is more appropriate than any other zoning district, or more appropriate than adding the desired use as a special land use in the existing zoning district. *The commission agreed that it seemed appropriate with the contiguous properties and that a Special Land Use will still be required.*

B. The property cannot be reasonably used as zoned. *The commission agreed while it could be used as zoned it may not be a desirable location for a residence near the industrial area.*

C. The proposed zone change is supported by and consistent with the goals, policies and future land use map of the adopted City Master Plan. If conditions have changed since the plan was adopted, as determined by the Planning Commission. the consistency with recent development trends in the area shall be considered. *The commission agreed that it was changed in 2005*

with the anticipation that more residential area would be desired there, but that has not happened.

D. The proposed zone change is compatible with the established land use pattern, surrounding uses, and surrounding zoning in terms of land suitability, impacts on the environment. density, nature of use, traffic impacts, aesthetics, infrastructure and potential influence on property values, and is consistent with the needs of the community. *The commission agreed that it is compatible with the land use pattern, but that it may be a more intense use. The further agreed that there will be minimal traffic impact to the area.*

E. All the potential uses allowed in the proposed zoning district are compatible with the site's physical. geological. hydrological and other environmental features. *The commission agreed that while the paving and water run off may cause a problem, it would still be an improvement over what is currently there with things outside and potentially leaking and contaminating the soil.*

F. The change would not severely impact traffic, public facilities, utilities, and the natural characteristics of the area, or significantly change population density, and would not compromise the health, safety, and welfare of the city. *The commission agreed that it may actually improve the potential pollution.*

G. The rezoning would constitute and create an isolated and unplanned district contrary to the City Master Plan which may grant a special privilege to one landowner not available to others. *The commission agreed that it makes it more consistent with the surrounding area.*

H. The change of present district boundaries is consistent in relation to existing uses, and construction on the site will be able to meet the dimensional regulations for the proposed zoning district listed in the schedule of regulations. *The commission agreed it is consistent, but that variances would be needed based on the current proposed blueprint.*

I. There was a mistake in the original zoning classification, or a change of conditions in the area supporting the proposed rezoning. *The commission agreed that there was no mistake.*

J. Adequate sites are neither properly zoned nor available elsewhere to accommodate the proposed uses permitted in the requested zoning district. *The commission agreed that there are other areas where the proposed business could fit.*

MOTION by Reed, supported by Burke Smith to recommend Zoning Amendment Request #RZ22.03 to rezone 423 Mitchell St from MFRD-Multi Family Residential District to I1 Research and Technical District to City Council. On a roll call vote; ayes- Fitzgerald, Hall, Longyear, McNiff, Reed, Zuck, C Zuzga; nays- none; **MOTION CARRIED.**

E Zuzga stated that in the commissioner's packet there is a very rough draft of a proposed new industrial district, which is meant to be the starting point of a conversation, as there are still many changes that need to be made. He stated that there is property west of I69 that has been targeted as a future industrial site and

the City is looking ahead to create a district that encompasses what businesses are asking for and may potentially need if that area develops, based on discussions with potential developers. He stated that any type of marijuana use has been pulled out, as the township does not want that in their area. He further stated that there are other uses that will need to be pulled out, as the intention of this district is for a high-profile manufacturing site. He stated that setbacks for the district will need to be considered as there are nearby residential areas, as well as what the limitations would be on height with the current consideration being 160 ft based on what is being seen in the market for these types of facilities. McNiff questioned if it was needed for smoke stacks and E Zuzga responded that these were already exempt from height limitations. Burke Smith questioned if there would be cranes and E Zuzga stated that it was strictly considering building height. Wolfersberger questioned if the height of the building should be no higher than what the fire departments ladder truck can reach and E Zuzga stated that had been discussed. McNiff questioned having convenience stores as a use. E Zuzga stated that it was in the current Industrial uses and that it would allow people to stop and grab a quick drink or snack before or after work. McNiff stated she would rather see that as a special land use opposed to a permitted use so there doesn't end up being a strip mall type setting. E Zuzga stated that could be discussed along with other listed uses, such as crematoriums and breweries. Hall questioned if we would need to be chosen before this became needed. E Zuzga stated that we would still need to be chosen for the project, but this process is anticipation of being chosen for a project. Burke Smith stated that having this in place will also help market the property. E Zuzga confirmed that it would help with marketing, as currently it is a gamble for companies as to what may or may not be approved in that area. McNiff questioned if use 10 could be taken out as it's similar to 19 and it would be preferential as an accessory use, but not a primary use. E Zuzga stated that this is just a very rough draft and that at the next meeting there will be a more formal draft proposal for the district. McNiff questioned if staff had been looking at other cities with similar districts to mirror theirs. E Zuzga stated that there has been some research of that type, but most of where the standards are coming from is looking at what is being requested at these types of properties and tailoring the district to those needs. McNiff questioned if a zoning company, such as Clear Zoning, would be looking at it and E Zuzga stated that it could be looked into within the confines of the City's budget.

McNiff stated that the City should be completely transparent with the township so that what the township would like to see for the property can also be taken into consideration. Fitzgerald questioned if there was any feedback on what has caused the property to be turned down by developers in the past. Nelson stated that she doesn't believe that there has been anything in particular other than other sites in other states offering better incentives to the company. E Zuzga stated that he has been taking note of everything that has been coming up as a red flag during current discussions. Nelson questioned if the commission would like staff to come up with a draft proposal and to have a work session of April 13 with the township. McNiff stated that if the township is available that would be preferred. C Zuzga questioned if there was any place for the Joint Planning Commission on this. E Zuzga stated that any property that has a 425 agreement between the township and city will have to go through the Joint Planning Commission. Burke Smith stated she would like to see the entire township Planning Commission involved in this process and not just those on the Joint Planning Commission. C Zuzga questioned if staff would any feedback that commissioners have on the current proposal sent to them. E Zuzga responded that staff would appreciate any feedback as that is why the commission was not presented with a final proposal. Hall questioned if there was any idea how big the project could be. E Zuzga stated that there is no concrete on size at this time. McNiff questioned the road capacity in that area to serve a large-scale manufacturing facility. E Zuzga stated that the everyone at the local and state lever are coming together to do planning on the site, so that is being considered.

McNiff stated that she and Commissioner Reed needed to recuse themselves as their law firm represents Oaklawn Hospital.

MOTION by Fitzgerald, supported by C Zuzga, to recuse Commissioners McNiff and Reed from the discussion on the Oaklawn Hospital site plan extension request. On a voice vote; **MOTION CARRIED.**

C Zuzga stated that there had been a request from Oaklawn Hospital to extend their site plan which is set to expire in April 2022 as there was an issue with construction costs and getting needed supplies. Nelson stated that they anticipate beginning work soon. She further stated that the airspace agreement has been settled and the canopy will be checked when building plans are submitted.

MOTION by Burke Smith, supported by Fitzgerald, to extend the Site Plan for the Oaklawn Hospital ER expansion. On a voice vote; **MOTION CARRIED.**

MOTION by C Zuzga, supported by Fitzgerald to allow McNiff and Reed to return to the meeting. On a voice vote; **MOTION CARRIED.**

PUBLIC COMMENTS NOT ON AGENDA

Derek Perry introduced himself as the new City Manager. He stated that he has an extensive background in public service at different levels and invites the commissioners to come to him at any time with questions, comments or concerns. He further stated that he appreciated all the time the commissioners have volunteered for this commission and their profound impact on the community.

REPORTS

ADJOURN

Planning Commission adjourned at 7:50 p.m.

Submitted by,

Michelle Eubank

MARSHALL PLANNING COMMISSION

Staff report for May 11, 2022

To: Planning Commissioners
From: Trisha Nelson, Planning and Zoning Administrator
Subject: Kellogg Credit Union, 107 N. Park Avenue

Case #: Site Plan #SP22.01
Zoning District: POSD-Professional Office Service District
Proposed Use: Financial Institution, with the addition of a drive-thru ITM

Staff received a request for the installation of a drive-thru ITM machine at the Kellogg Credit Union (KCU) site located at 107 N. Park Avenue. Currently there is an approved drive-thru bank teller lane at the location. Due to the location of the drive-thru lane at the intersection of Kalamazoo Ave/Michigan Avenue, staff wanted to seek Planning Commission approval to discuss traffic concerns.

The ITM would be located on the east side of the building where a cement slab currently exists (picture below). The four (4) parking spaces to the south of the ITM location will be removed to allow for traffic to go around if a patron is utilizing the machine. Even with the removal of the four spaces the parking requirements are met.



KCU is making many updates to the location, of which the majority are internal upgrades. You can see some of the updates on the enclosed building plans.

RECOMMENDATION

The Planning Commission is being asked to receive and consider approving site plan #SP22.01 for 107 N Park Avenue.



CITY OF MARSHALL

SITE PLAN
APPLICATION

City of Marshall
Application for Site Plan Review

Attn: Planning and Zoning Administrator
323 W Michigan Ave.
Marshall, Michigan, 49068

The following application is made to the City of Marshall Planning Commission in accordance with the provisions of the Planning and Zoning Department.

1. Applicant Information

Address of property being developed:
107 N Park Avenue, Marshall, MI

Owner of property being developed:
Kellogg Credit Union

Owner's Address:

41 2nd Street, Battle Creek, MI 49016

City

State

Zip

Owner's Phone Number:

(269) 441-5769

2. Owner's Agent if working for property owner.

Name and Title:

N/A

Address:

City

State

Zip

Phone Number:

City of Marshall
Application for Site Plan Review

3. Brief description of proposed project

4. Property Information

Is this property located in a floodplain? No

Is this property located in a wetland? No

Land area in acres? .551
 Acres

Proposed building area in square feet? 4,191sf

Proposed paved area in square feet? 0

Existing paved area in acres? .12
 Acres

Lake or stream within 500 feet? No

Any other agencies contacted for
approvals? No

 If so, please list:

City of Marshall
Application for Site Plan Review

5. Authorization (Must be signed by the owner of the property)

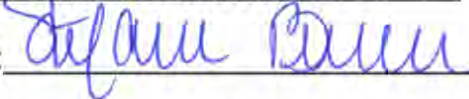
I am the owner of record for this property for which this application is being filed and as such, I am familiar with the development being proposed to be carried out on my property.

I hereby, give permission for this application to be filed with the full understanding that certain restriction may be placed on the property relative to the approval of the proposed work.

I further certify that under penalties of perjury, I am to sign this application.

Name (Please Print) Stefanie Brenner

Title: AVP of Admin Services Date: 4/18/2022

Signature: 

Note: If there are multiple owners of the property or you are representing a group, corporation, or other organization attach a copy of a certified letter authorizing you to sign this application for the proposed development.

LAND USE AND DEVELOPMENT FEES		
PLATS		
	Up to 30 Lots	\$450.00
	Over 30 Lots	\$650.00
SITE CONDOMINIUMS		
	Up to 30 Lots	\$350.00
	Over 30 Lots	\$550.00
SITE PLANS		
	Commercial and	\$250.00 < 30 acres
	Institutional	\$250.00
	Special Land Use	\$250.00
	Planned Unit Development	\$350.00
	Amend a PUD	\$150.00
	Multiple Family Developments (Apartment &	\$50 plus \$5.00 per unit or lot
	Additions to existing Site Plans if Planning Commission Review is required	\$100.00
	Extending Site Plan with Planning Commission	\$150.00

CITY OF MARSHALL

Site Plan Review Checklist for General Development

Date: 4/18/2022

Zoning District POSD Professional Office Service

Proposed Use: Credit Union (no change in use)

Is this a Permitted Use? ☒ Yes ☐ No

If yes list section number: _____

Is the property in the Well Head Protection Area? ☐ Yes ☒ No ☐ NA

Property Address: 107 N Park Avenue, Marshall, MI

Information of Responsible Party that prepared plans

Name: Cody Newman, AIA

Company Name: Driven Design Studio

Company Address: 117 West Michigan Avenue, Battle Creek, MI 49017

KCU MARSHALL

107 N PARK AVE, MARSHALL, MI 49068

RENDERING - FOR REFERENCE ONLY



EXISTING PHOTOS - FOR REFERENCE ONLY



PROJECT NOTES

1.

CONSTRUCTION MUST COMPLY WITH ALL NATIONAL, STATE, AND LOCAL BUILDING CODES, AS WELL AS ALL LOCAL ORDINANCES.
2.

DO NOT SCALE DRAWINGS. NOMINAL DIMENSIONS ARE SHOWN. REFER TO DETAILS, NOTES, SPECIFICATIONS AND PARTITION KEY FOR INFORMATION. CONTACT ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED.
3.

EXISTING BUILDING INFORMATION WAS OBTAINED FROM THE OWNER AND ADDITIONAL FIELD MEASUREMENTS BY THE ARCHITECT. THE CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK. DRAWINGS MAY CONTAIN DISCREPANCIES DUE TO CONCEALED CONDITIONS, INACCURACIES IN THE ORIGINAL DRAWINGS, INACCESSIBLE LOCATIONS, UNRECORDED BUILDING ALTERATIONS AND OTHER CONFLICTING INFORMATION. INFORMATION OUTSIDE OF CONTRACT AREA IS RELATIVE AND FOR REFERENCE ONLY. ALWAYS VERIFY FIELD CONDITIONS BEFORE COMMENCING WORK. NOTIFY ARCHITECT IF FIELD CONDITIONS CONFLICT SUBSTANTIALLY WITH PROPOSED WORK.
4.

INSTRUCTIONS FOR BUILDING CONSTRUCTION MAY BE LOCATED IN ANY PART OF THE CONSTRUCTION DRAWINGS. FAILURE OF THE GENERAL CONTRACTOR OR HIS SUB CONTRACTORS AND SUPPLIERS TO SEE INFORMATION IN ANY PART OF THE CONTRACT DOCUMENTS WILL NOT BE A VALID REASON FOR ISSUING A CHANGE ORDER.
5.

ALL HOLES CREATED FROM ABANDONED DUCT, CONDUIT, ELEC. DEVICES, ETC., WHICH ARE IN VIEW AND ARE NOT SCHEDULED TO BE BOARDED OVER, OR ON A WALL TO BE DEMOLISHED, ARE TO BE FILLED AND PATCHED TO MATCH EXISTING.
6.

PATCH AND REPAIR ALL EXISTING WALL SURFACES ADJACENT TO NEW WORK AS REQUIRED TO ACHIEVE AN UNINTERRUPTED SURFACE APPEARANCE. PATCH AND REPAIR ALL FLOORING FOR EXISTING BUILDINGS TO ACHIEVE A CONTINUOUS, SMOOTH, AND FLUSH FLOOR SURFACE.
7.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING REQUIRED TO EXECUTE WORK. THE CONTRACTOR SHALL COORDINATE ALL TEMPORARY CONSTRUCTION WITH THE ARCHITECT AND OWNER TO ASSURE A MINIMUM AMOUNT OF INTERRUPTION WITH THE OWNER'S ACTIVITIES.
8.

IF THE PROJECT IS A REMODEL, THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL SURFACES NOT BEING REMODELED IN THE PROJECT AND IN THE PATH OF THE CONTRACTORS TRAVEL, SETUP AND/ OR PROJECT MATERIAL STORAGE. THE CONTRACTOR MUST RETURN THE AREAS DISTURBED AS REQUIRED FOR ACCESS TO ITS PRE-EXISTING CONDITION.
9.

THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL LOCAL/REQUIRED PERMITS AND INSPECTIONS.
10.

ALL SAFETY ISSUES RELATED TO CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST COMPLY WITH ALL STATE, LOCAL, ENVIRONMENTAL AND LABOR LAWS DURING THE CONSTRUCTION OF THIS PROJECT.
11.

ALL WORK TO BE GUARANTEED A MINIMUM OF ONE YEAR FROM THE DATE OF OWNER ACCEPTANCE OF WORK, EXCEPT WHERE MANUFACTURER'S GUARANTEE IS LONGER.
12.

IF DISCREPANCIES OCCUR BETWEEN DRAWINGS AND FIELD CONDITIONS CONTACT THE ARCHITECT TO VERIFY HOW TO PROCEED BEFORE DOING SO.
13.

SEE T001 FOR ADDITIONAL PROJECT NOTES, MOUNTING HEIGHTS, AND SYMBOLS
14.

3D VIEWS AND RENDERINGS ON THIS PAGE AND THROUGHOUT THE SET ARE FOR REFERENCE ONLY. VERIFY ALL CONSTRUCTION DETAILS THROUGHOUT THE ENTIRE SET OF DOCUMENTS
15.

THE PROJECT SHALL CONFORM TO UNDERWRITERS LABORATORY FIRE RESISTANCE DIRECTORY AND BUILDING MATERIALS DIRECTORY.
16.

ANY MATERIAL SUBSTITUTIONS TO A LISTED UL DESIGN NUMBER SHALL BE COORDINATED BY THE CONSTRUCTION MANAGER, CONTRACTOR, SUBCONTRACTOR AND/OR MATERIAL SUPPLIER FOR COMPLIANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPROVALS - FOR ANY MATERIALS SUBSTITUTION IN THE REQUIRED UL DESIGN ASSEMBLY - BY THE FIRE MARSHAL AND BUILDING INSPECTOR HAVING JURISDICTION PRIOR TO ACCEPTANCE.
17.

FOR ANY CHANGE OF UL DESIGN NUMBER, OR ANY CHANGE IN MATERIAL(S) IN A UL DESIGN ASSEMBLY, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL OTHER RELATED MATERIALS OR ASSEMBLIES AFFECTED BY THE CHANGE OF MATERIAL OR UL DESIGN NUMBER ASSEMBLY.
18.

PROVIDE COMPLETE UL APPROVED THROUGH-PENETRATION FIRESTOP SYSTEMS AT ALL RATED WALL PENETRATIONS.
19.

PROVIDE FIRESTOPPING AS REQUIRED AT ALL OPENINGS FOR PLUMBING, CONDUIT, DUCTWORK, ETC AT FIRE RATED ASSEMBLIES.
20.

REFER TO THE FLOOR PLANS FOR IDENTIFICATION OF ALL FIRE AND SMOKE-RATED PARTITIONS.

PROJECT DESCRIPTION

AN EXISTING BANK BUILDING IS BEING CONVERTED INTO A CREDIT UNION. THERE IS NO CHANGE IN USE, ADDITIONS, OR DELETIONS PROPOSED AS PART OF THIS PROJECT. IT IS TO BE AN INTERIOR RENOVATION ONLY.

DRAWING LIST

SHEET NUMBER	DRAWING TITLE	04/09/2022 - PERMIT SET
00 GENERAL		
T000	TITLE SHEET	X
T001	RENDERINGS	X
T002	MOUNTING HEIGHTS + ABBREVIATIONS	X
T003	MOUNTING HEIGHTS CONTINUED	X
T004	CODE COMPLIANCE	X
01 CIVIL		
C100	ARCHITECTURAL SITE PLAN	X
C101	DUMPSTER ENCLOSURE	X
02 ARCHITECTURAL		
A000	EXISTING FLOOR PLANS	X
A110	DEMOLITION PLANS	X
A120	NEW FLOOR PLANS	X
A130	FINISH PLAN & SCHEDULE	X
A200	REFLECTED CEILING PLANS	X
A300	INTERIOR ELEVATIONS	X
A400	EXTERIOR ELEVATIONS	X
04 MEP		
MEP101	MECH, ELEC, PLUMB SPECS/NOTES	X
Grand Total: 15		



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CONSTRUCTION MANAGER/GC
Schweitzer Construction
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ENGINEER

ENGINEER

ENGINEER

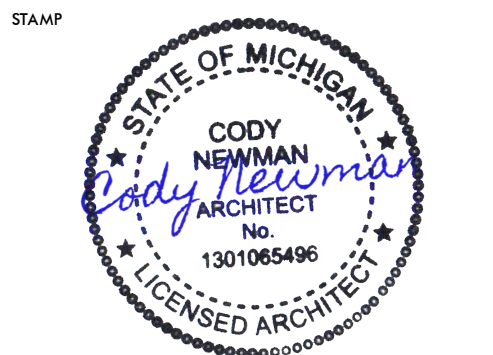
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PROJECT NAME
KCU MARSHALL
PROJECT ADDRESS
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CLIENT
KELLOGG CREDIT UNION

ISSUE
PERMIT SET

REVISION

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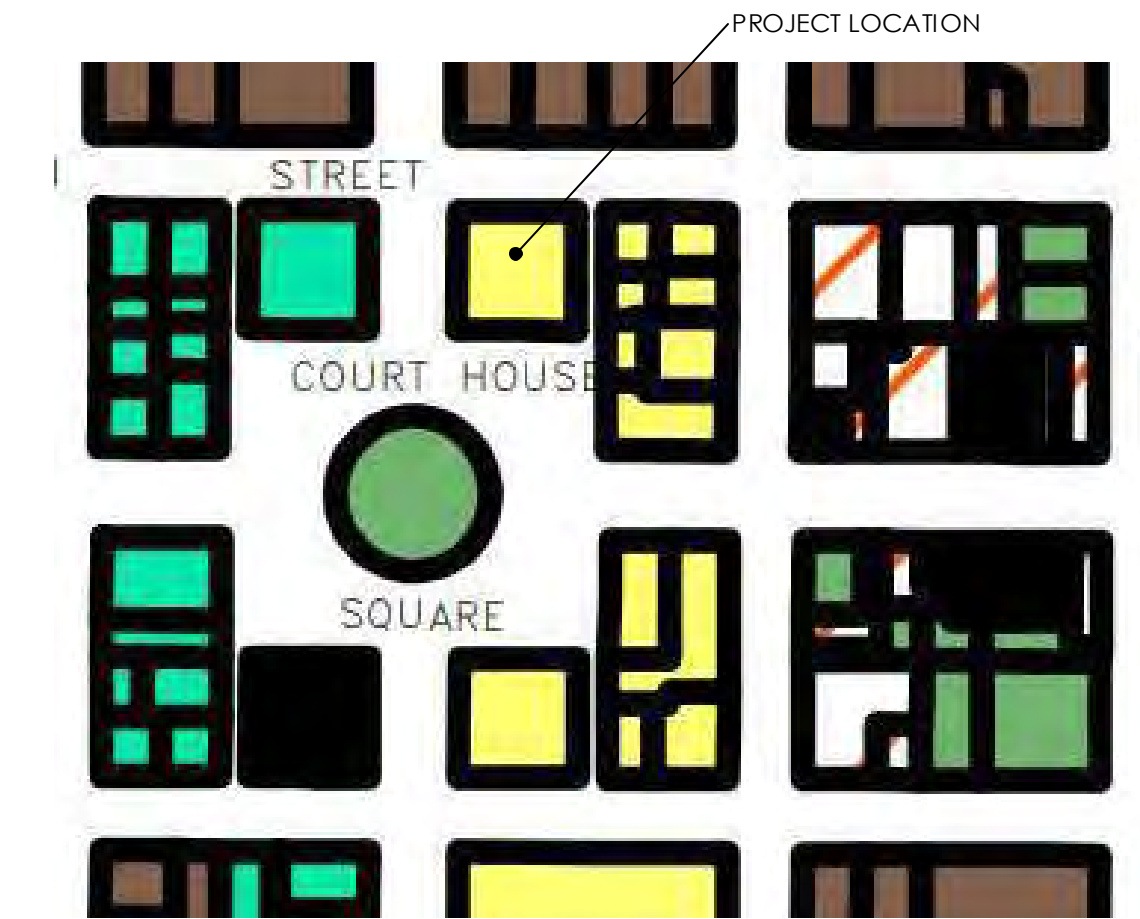


PROJECT NUMBER
2022.045

TITLE SHEET
T000

ZONING MAP

ZONING - POSD PROFESSIONAL OFFICE SERVICE



AREA MAP





RENDERINGS - FOR REFERENCE ONLY



RENDERINGS - FOR REFERENCE ONLY

ABBREVIATION LIST

A A/C

AIR CONDITIONING

A A/V

AUDIO/VISUAL

A ACP

ACOUSTICAL CEILING PANEL

A AD

AREA DRAIN

A ADA

AMERICANS WITH DISABILITIES ACT

A ADJ

ADJUSTABLE

A AFF

ABOVE FINISHED FLOOR

A ALT

ALTERNATE

A ALUM

ALUMINIUM

A APPROX

APPROXIMATELY

A ARCH

ARCHITECT(URAL, URE)

A ASSOC

ASSOCIATED

A AUTO

AUTOMATIC

A AWP

ACOUSTICAL WALL PANEL

B BD

BOARD

B BF

BARRIER FREE

B BIT

BITUMINOUS, BITUMEN

B BLDG

BUILDING

B BLKG

BLOCKING

B BM

BEAM

B BOT

BOTTOM

C CAB

CABINET

C C/J

CONTROL JOINT

C CLG

CEILING

C CLR

CLEAR(ANCE)

C CMU

CONCRETE MASONRY UNIT

C COL

COLUMN

C COM

COMMUNICATIONS

C CONC

CONCRETE

C CONFIG

CONFIGURATION

C CONST

CONSTRUCTION

C CONT

CONTINUOUS

C COORD

COORDINATE

C CORR

CORRIDOR

C CPT

CARPET

C CT

CERAMIC TILE

C CTR

CENTER

D DEG

DEGREE

D DF

DRINKING FOUNTAIN

D DIA

DIAMETER

D DIAG

DIAGONAL

D DIM

DIMENSION

D DIV

DIVISION

D DN

DOWN

D DR

DOOR

D DS

DOWNSPOUT

D DTL

DETAIL

D DWG(S)

DRAWING(S)

E E

EAST

E EA

EACH

E EJ

EXPANSION JOINT

E EL

ELEVATION

E ELEC

ELECTRICAL

E ELEV

ELEVATION

E EMER

EMERGENCY

E ENCL

ENCLOS(E,URE)

E EQ

EQUAL

E EQUIP

EQUIPMENT

E EST

ESTIMATE(D)

E EXIST

EXISTING

E EXP

EXPANSION

E EXT

EXTERIOR

F FA

FIRE ALARM

F FD

FLOOR DRAIN

F FDN

FOUNDATION

F FE

FIRE EXTINGUISHER

F FEC

FIRE EXTINGUISHER CABINET

F FF

FINISHED FACE

F FGL

FIBERGLASS

F FHC

FIRE HOSE CABINET

F FIXT

FIXTURE

F FL

FLOOR(ING)

F FLUOR

FLUORESCENT

F FOC

FACE OF CONCRETE

F FOS

FACE OF STUDS

F FP

FIREPROOF(ING)

F FT

FEET

F FTG

FOOTING

F FUR

FURR(ED,ING)

G GA

GAUGE

G GALV

GALVANIZED

G GB

GRAB BAR

G GC

GENERAL CONTRACT(OR)

G GL

GLASS, GLAZING

G GOVT

GOVERNMENT

G GT

GROUT

G GYP BD

GYPSUM WALLBOARD

H HC

HOLLOW CORE

H HDR

HEADER

H HDWD

HARDWOOD

H HDWR

HARDWARE

H HGT

HEIGHT

H HM

HOLLOW METAL

H HORIZ

HORIZONTAL

H HP

HIGH POINT

H HR

HOUR

H HT

HEIGHT

H HVAC

HEATING, VENTILATION & AIR CONDITIONING

I ID

INSIDE DIAMETER

I IN

INCH(ES)

I INCAN

INCANDESCENT

I INCL

INCLUDE(D,ING)

I INSUL

INSULATION, INSULATED

I INT

INTERIOR

J JAN

JANITOR

J JT(S)

JOINT(S)

K KIT

KITCHEN

ABBREVIATION LIST

L LAM

LAMINATE(D)

L LAV

LAVATORY

L LBL

LABEL

L LH

LEFT HAND

L LL

LIVE LOAD

L LP

LOW POINT

L LTG

LIGHTING

L LTL

LINTEL

M MANF

MANUFACTURE(R)

M MAS

MASONRY

M MATL

MATERIAL(S)

M MAX

MAXIMUM

M MECH

MECHANICAL

M MEMB

MEMBRANE

M MIN

MINIMUM

M MISC

MISCELLANEOUS

M MO

MASONRY OPENING

M MTD

MOUNTED

M MTG

MOUNTING

M MTL

METAL

N N

NORTH

N N/A

NOT APPLICABLE

N NAT

NATURAL

N NIC

NOT IN CONTRACT

N NO

NUMBER

N NOM

NOMINAL

N NTS

NOT TO SCALE

O OC

ON CENTER

O OD

OUTSIDE DIAMETER

O OH

OVERHEAD

O OPNG

OPENING

O OPP

OPPOSITE

O OPP HD

OPPOSITE HAND

P PART

PARTITION

P PC

PRECAST

P PERF

PERFORATE(D)

P PL

PLATE

P PLAM

PLASTIC LAMINATE

P PLAS

PLASTER

P PLWD

PLYWOOD

P PNL

PANEL(ED)

P PR

PAIR

P PREP

PREPARE (SURFACE)

P PROV

PROVIDE

P PSF

POUNDS PER SQUARE FOOT

P PSI

POUNDS PER SQUARE INCH

P PT

PAINT

P PVMT

PAVEMENT

Q QTY

QUANTITY

R R

RISER

R RAD

RADIUS

R RB

RUBBER BASE

R REF

REFRIDGERATOR

R REINF

REINFORCED

R REQD / REQ'D

REQUIRED

R RES

RESILIENT

R RET

RETAINING

R REV

REVISION(S) / REVISE(D)

R RFG

ROOFING

R RH

RIGHT HAND

R RM

ROOM

R RO

ROUGH OPENING

S S

SOUTH

S SC

SOLID CORE

S SCHED

SCHEDULE

S SECT

SECTION

S SF

SQUARE FEET

S SHT

SHEET

S SIM

SIMILAR

S SPEC(S)

SPECIFICATION(S)

S SQ

SQUARE

S SS

STAINLESS STEEL

S STD

STANDARD

S STL

STEEL

S STN

STAIN

S STO

STORAGE

S STRUC

STRUCTURAL

S SUSP

SUSPENDED

S SYM

SYMMETRICAL

S SYS

SYSTEM

T T

TREAD

T T&G

TONGUE AND GROOVE

T T.O.

TOP OF

T TECH

TECHNOLOGY

T TEL

TELEPHONE

T TEMP

TEMPERED

T THK

THICK(NESS)

T THRESH

THRESHOLD

T TOC

TOP OF CURB

T TOM

TOP OF MASONRY

T TOS

TOP OF STEEL

T TOW

TOP OF WALL

T TRANS

TRANSPARENT

T TV

TELEVISION

T TYP

TYPICAL

U UL

UNDERWRITER'S LABORATORY

U UNF

UNFINISHED

U UNO

UNLESS OTHERWISE NOTED

V VAR

VARIES

V VCT

VINYL COMPOSITION TILE

V VERT

VERTICAL

V VEST

VESTIBULE

V VIF

VERIFY IN FIELD

V VU

VENTILATION UNIT

V VWC

VINYL WALLCOVERING

ABBREVIATION LIST

W W

WATER RESISTANT

W W/

WITH

W W/O

WITHOUT

W WC

WATER CLOSET

W WD

WOOD

W WDW

WINDOW

W WH

WALL HUNG

W WP

WORK POINT

W WR

PAINT(ED)

W WT

WEIGHT

W WWF

WELDED WIRE FABRIC

Z #

NUMBER

Z &

AND

Z +/-

EXIST (OR APPROX) DIM - VIF

Z CL

CENTER LINE

Z L

ANGLE

INTERIOR STEEL STUD FRAMING

THE INTERIOR STUD FRAMING GUIDE DESIGNATES THE DESIGN INTENT OF THE ARCHITECT. THE GUIDE IS FOR THE CONTRACTORS REFERENCE WHEN INSTALLING INTERIOR STUD FRAMED WALLS. IT IS THE CONTRACTORS RESPONSIBILITY TO FOLLOW ALL INFORMATION PORTRAYED WITHIN THIS GUIDE AND THE CONTRACT DOCUMENTS.

NOTE: VERIFY MIN. STEEL STUD FRAMING GAUGE REQUIREMENTS /MAXIMUM ALLOWABLE HEIGHTS WITH STEEL STUD FRAMING SUPPLIER.

*FIRE BLOCKING TO BE PROVIDED HORIZONTALLY AT 10'-0" O.C. MAX. FIRE CAULK AROUND BLOCKING, IF METAL STUDS ARE USED A MINIMUM OF 20 GA. STUDS MUST BE UTILIZED.

MAXIMUM ALLOWABLE HEIGHTS (NON-LOAD BEARING - METAL STUDS)

STEEL STUD FRAMING SECTION 092216	COLD-FORMED MTL FRAMING SECTION 054000						* DEFLECTION = L/360
GA.	25	20	18	16	14	12	
2 1/2"	9'-10"	11'-2"	12'-7"	13'-5"	14'-4"	--	
3 5/8"	12'-4"	14'-3"	16'-8"	17'-11"	19'-2"	21'-2"	
6"	17'-11"	21'-4"	24'-9"	26'-7"	28'-4"	31'-8"	
2 1/2" CH STUD	10'-7"	13'-4"	--	--	--	--	

* SPACING = 16" O.C.

GENERAL NOTES

*THE MOUNTING HEIGHTS, MATERIALS, AND SYMBOLS SHOWN ON THIS PAGE ARE FOR REFERENCE THROUGHOUT THE PROJECT. NOT ALL ELEMENTS SHOWN WILL APPLY TO THIS SPECIFIC PROJECT. REVIEW THE PROJECT PLANS, SECTIONS, AND ELEVATIONS FOR ADDITIONAL DETAILS AND TO VERIFY WHAT RELATES TO THIS PROJECT.

MATERIAL DESIGNATIONS & SYMBOLS

EXISTING WALL TO REMAIN

NEW WALL

1 HOUR PARTITION

2 HOUR PARTITION

3 HOUR PARTITION

ELEMENTS TO BE REMOVED

EXTENT OF WORK

CMU

CONCRETE

WOOD BLOCKING

STEEL (LARGE SCALE)

PLASTER

RIGID INSULATION

PLYWOOD

MILLWORK

Room name

101

ROOM NUMBER

FINISH TYPE

11

DOOR NUMBER

11

WALL TYPES

11

WINDOW NUMBER

EXISTING ELEVATION

NEW ELEVATION

BATT INSULATION

1

COLUMN CENTER LINE / IDENTIFIER

REVISION INDICATION

DETAIL / PLAN / ELEVATION

DRAWING REFERENCE

1

A101

SIM

SHEET REFERENCE

DRAWING REFERENCE

1

A101

SIM

SHEET REFERENCE

DRAWING REFERENCE

1

A101

SIM

SHEET REFERENCE

BLDG SECTION CUT

DRAWING REFERENCE

1

A101

SIM

SHEET REFERENCE

WALL SECTION

DRAWING REFERENCE

1

A101

SIM

SHEET REFERENCE

REQUIRED CLEARANCES

CLEAR FLOOR SPACE

FORWARD APPROACH

PARALLEL APPROACH

ALCOVE, FORWARD APPROACH

ALCOVE, SIDE APPROACH

60" MIN

60" TURNING DIAMETER

T - SHAPED TURNING SPACE

REQUIRED PUSH/PULL CLEARANCES

FRONT APPROACH - PULL SIDE

FRONT APPROACH - PUSH SIDE

FRONT APPROACH - PUSH SIDE

HINGE APPROACH - PULL SIDE

HINGE APPROACH - PUSH SIDE

TYPICAL MOUNTING HEIGHTS

1. MOUNTING HEIGHTS SHOWN ARE BASED UPON RECOGNIZED DESIGN STANDARDS AND/OR BARRIER FREE CODE REQUIREMENTS. IT IS INTENDED THAT LIKE DEVICES ALL BE MOUNTED AT THE SAME HEIGHT THROUGHOUT THE ENTIRE PROJECT. RECESSED DEVICES IN MASONRY WALLS MAY DICTATE A DEVIATION (+/- 2") FROM THESE HEIGHTS (WHEN PERMITTED BY CODE) SO AS TO ALLOW THE BOTTOM OR THE TOP OF THE DEVICE RECESS TO ALIGN WITH MASONRY COURSING. COORDINATE THESE DEVIATIONS WITH THE ARCHITECTS/OWNER'S REPRESENTATIVE. MOUNTING HEIGHTS ARE TYPICAL UNLESS NOTED OTHERWISE ON DRAWINGS.

DIMENSIONING

1. DIMENSIONS ARE FROM FINISHED FACE TO FINISHED FACE, UNLESS NOTED OTHERWISE. SEE DIMENSIONING KEY ON THIS PAGE FOR REFERENCE

FRAMING LEGEND

PROVIDE FULL HEIGHT STUDS AT ALL CORNERS AS SHOWN TO ALLOW FOR PROPER GYP. BD. INSTALLATION

16" OR 24" O.C. AS NOTED

COMMON STUD

KING STUD

JACK STUD

TOP PLATE

TOP CRIPPLE

HEADER

KING STUD

JACK STUD

COMMON STUD

BOTTOM PLATE

*PROVIDE TREATED WOOD OR METAL TRACK AGAINST ANY CONC. OR MASONRY SURFACE

DIMENSIONING KEY

PARTITION AT RIGHT ANGLE

4"

*IF THE DOOR IS NOT AGAINST A RIGHT ANGLE PARTITION OR EXISTING, IT IS TO BE CENTERED IN THE ROOM, U.N.O.

DIMENSIONING SYSTEM (UNLESS NOTED OTHERWISE)

FINISH FACE OF NEW CONSTRUCTION

2'-6"

COLUMN LINE

FINISH FACE OF NEW CONSTRUCTION

2'-0"

FINISH FACE OF EXISTING CONSTRUCTION

FINISH FACE OF NEW CONSTRUCTION

ALIGN

FINISH FACE OF EXISTING CONSTRUCTION

PROJECT NAME

KCU MARSHALL

PROJECT ADDRESS

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CLIENT

KELLOGG CREDIT UNION

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SCALE

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PROJECT NUMBER

2022.045

MOUNTING HEIGHTS + ABBREVIATIONS

T002

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ACCESSORIES SCHEDULE				
TYPE MARK	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
GB-1	18" VERTICAL GRAB BAR	BRADLEY CORP.	812-001-18	
GB-2	36" GRAB BAR	BRADLEY CORP.	812-001-36	
GB-3	42" GRAB BAR	BRADLEY CORP.	812-001-42	
MI-1	MIRROR	BRADLEY CORP.	748-2436	
PTD-1	PAPERTOWEL DISPENSER	BRADLEY CORP.	250-15	
SD-1	SOAP DISPENSER	BRADLEY CORP.	6562	
SND-1	SANITARY NAPKIN DISPOSAL	BRADLEY CORP.	4A10	
TTD-1	TOILET TISSUE DISPENSER	BRADLEY CORP.	5084	

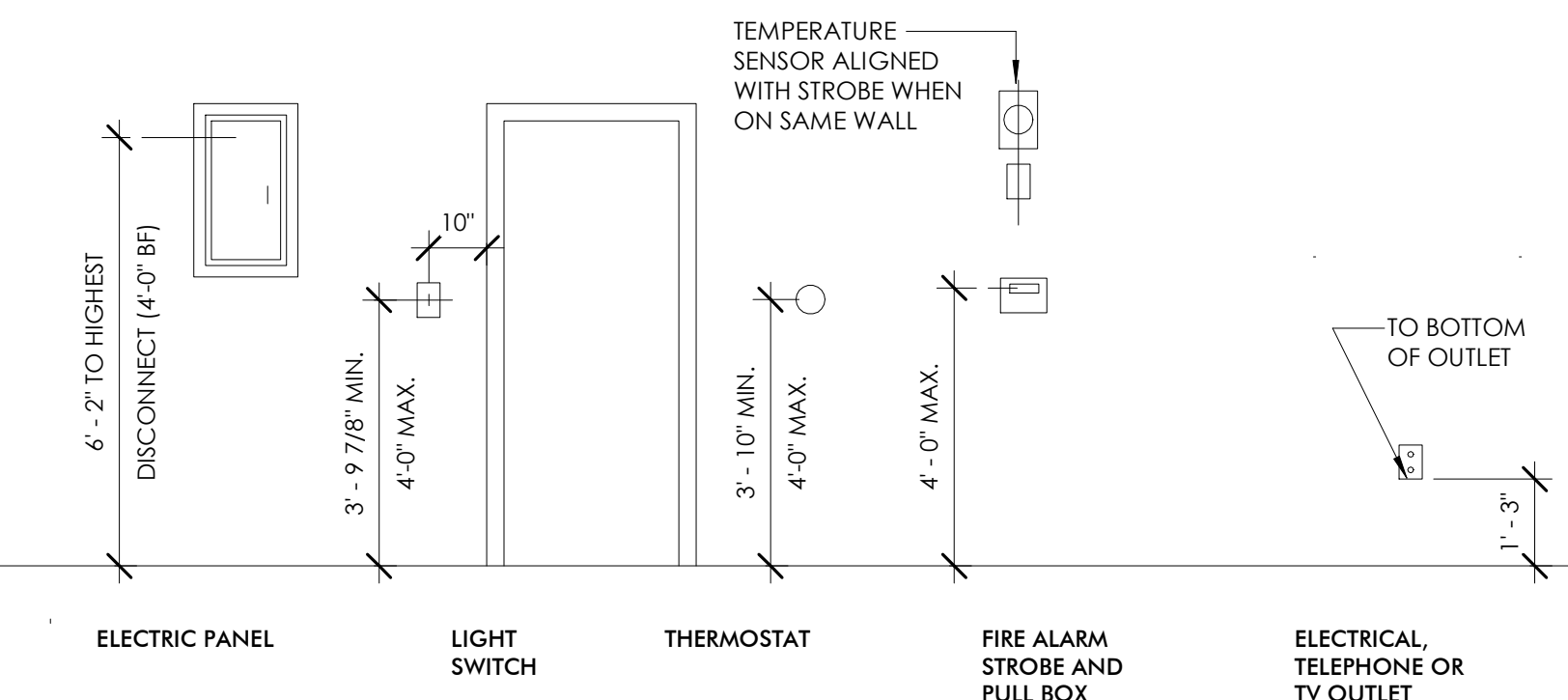


Diagram illustrating the layout and clearances for various fixtures in a restroom, showing unobstructed approach paths and specific height requirements.

Fixtures and Clearances:

- Shower Head, Valves and Curtain Rod:** 6'-0" high.
- Shower Controls:** 3'-4" high.
- Closet Rod and Shelf:** Unobstructed approach.
- Closet Rod w/Out Shelf:** Unobstructed approach.
- Hand Lotion Dispenser:** Unobstructed approach.
- Sanitary Napkin Dispenser:** Unobstructed approach. Operating parts must be below maximum height.
- Paper Towel Dispenser:** Unobstructed approach.
- Liquid Soap Dispenser:** Unobstructed approach.
- Coat Hook:** Unobstructed approach.
- Automatic Door Button:** 4'-0" MAX high.
- Fire Extinguisher:** Unobstructed approach.
- Fire Extinguisher Cabinet:** 4'-0" high.
- Fire Hose Rack or Valve:** Unobstructed approach. Optional bottle filler, verify w/owner.
- Hi-Low ADA Drinking:** Unobstructed approach.
- Baby Changing:** Unobstructed approach.
- ADA Restroom Sign:** Unobstructed approach.
- Post-Mounted Parking Signs:** 80" MIN. high, 1'-0" wide.
- Wall-Mounted Parking Sign:** 80" MIN. high, 1'-0" wide.

Diagram illustrating the dimensions and components for a Roll-In Shower with a Seat. The diagram shows a cross-section of the shower area with a seat and grab bars.

Key dimensions and components labeled:

- GRAB BARS:** Located on the left wall, with a height of 2' - 11" and a clear width of 2' - 6" below.
- CONTROL ZONE:** A hatched area containing the shower controls, with a width of 2' - 3" and a height of 10".
- SHOWER SEAT:** A rectangular seat with a height of 1' - 6" and a clear width of 3' - 2" below.
- Clearance:**
 - 5' - 0" MIN. CLEAR: Minimum clear width for the roll-in area.
 - 1' - 6": Minimum clear height for the seat area.
 - 1' - 6" MAX.: Maximum height for the seat area.
 - 3' - 0": Minimum clear width for the seat area.
 - 2' - 6" MIN.: Minimum clear width for the seat area.
 - 1 1/2" MAX.: Maximum height for the seat area.
 - 3" MAX.: Maximum height for the seat area.
- CLEAR FLR. SPACE:** Clear floor space for the roll-in area.

*NOTE: PROVIDE BLOCKING AS
REQUIRED FOR ALL GRAB BARS AND
FIXTURE MOUNTING PER
MANUFACTURER'S RECOMMENDATION

* CAN BE 2'-6" IF PARTITION SCREEN

LAVATORY NOT CENTERED ON 30 X 48 CLEAR AREA	
LAVATORY WIDTH	MIN. ROOM WIDTH
20"	6'-11"
21"	7'-0"
22"	7'-1"

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CLIENT
KELLOGG CREDIT UNION

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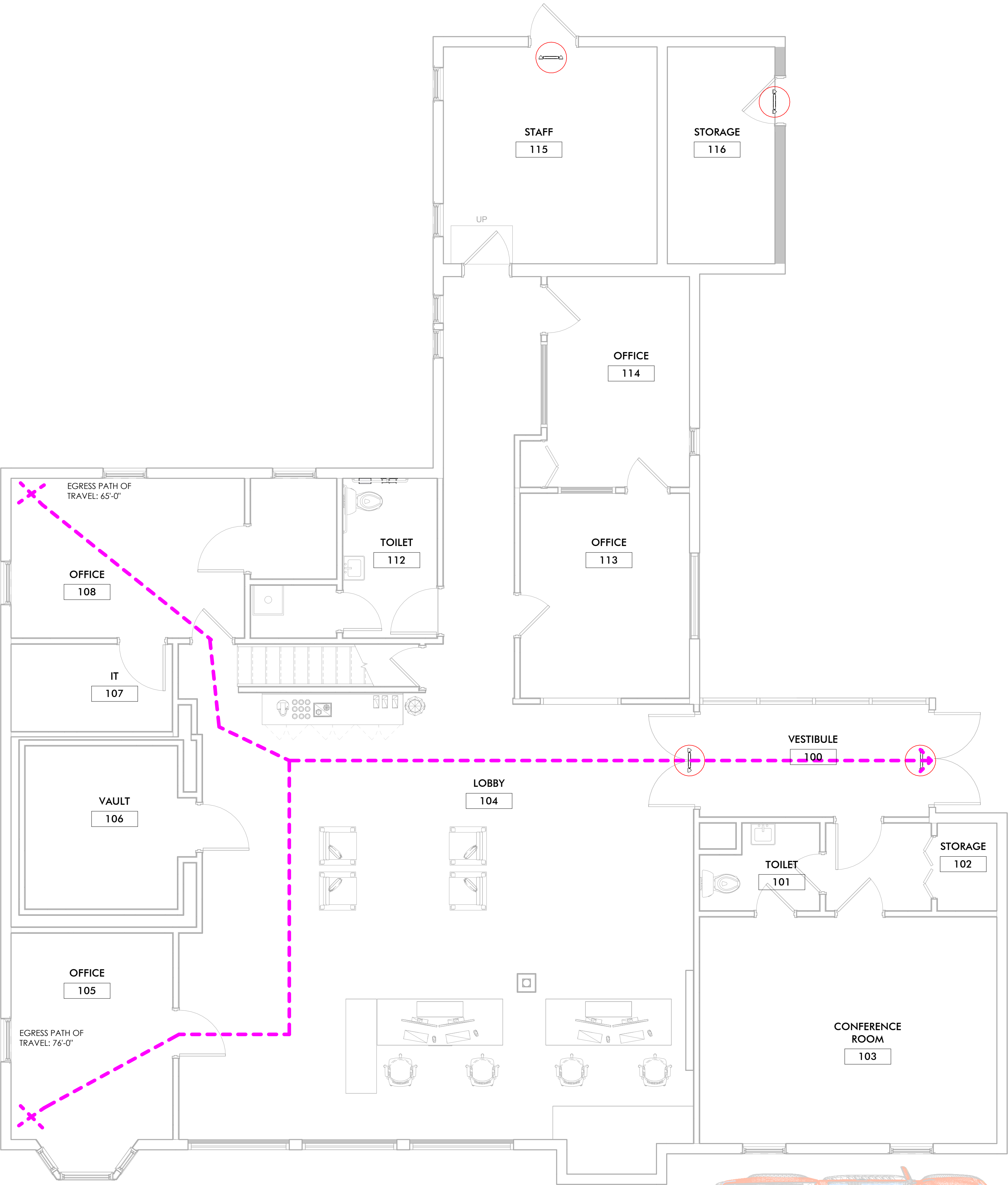
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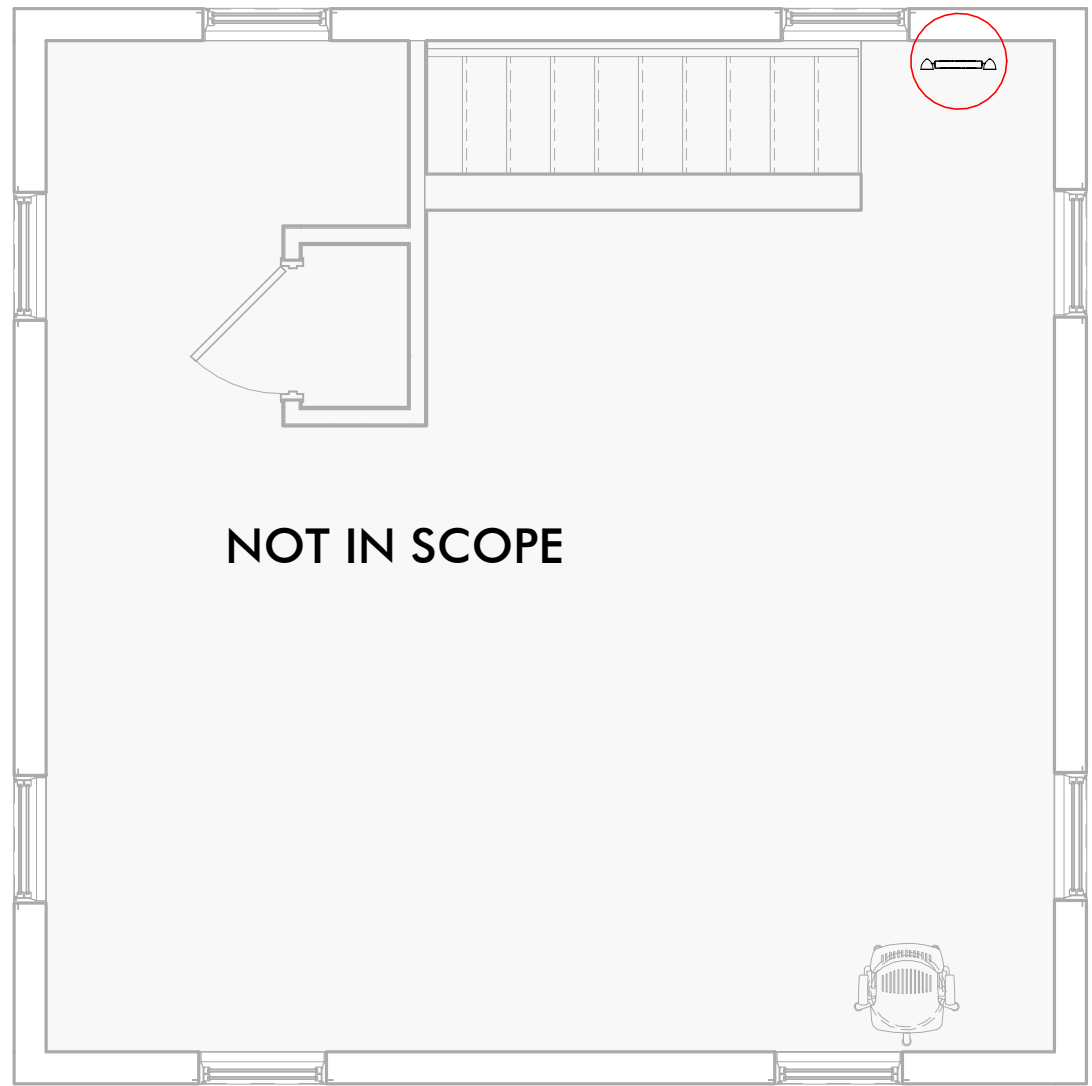
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MOUNTING HEIGHTS CONTINUED

T003



1 FIRST FLOOR COMPLIANCE PLAN
1/4" = 1'-0"



2 SECOND FLOOR DEMOLITION PLAN
1/4" = 1'-0"

COMPLIANCE LEGEND

SYMBOL	ITEM
FE	FIRE EXTINGUISHER
EXIT SIGN	EXIT SIGN W/ EGRESS LIGHTS
EGRESS LIGHTING	EGRESS LIGHTING
TRAVEL DISTANCE	TRAVEL DISTANCE
1 HOUR WALL	1 HOUR WALL
2 HOUR WALL	2 HOUR WALL
SMOKE DETECTOR	SMOKE DETECTOR
CARBON MONOXIDE DETECTOR	CARBON MONOXIDE DETECTOR

CODE COMPLIANCE

TOPIC	SECTION	ALLOWED/REQUIRED	ACTUAL
APPLICABLE CODES			
2015 INTERNATIONAL FIRE CODE			
2015 MICHIGAN BUILDING CODE			
2015 MICHIGAN MECHANICAL CODE			
2015 MICHIGAN REHABILITATION CODE			
2017 NATIONAL ELECTRICAL CODE			
2018 MICHIGAN PLUMBING CODE			
ANSI/ASHRAE 90.1-2013			
ICC/ANSI 117.1-2009			
NFPA 13 (2013) + NFPA 72 (2013)			
ZONING			
CITY OF MARSHALL			POSD PROFESSIONAL OFFICE SERVICE
1 - SCOPE AND ADMIN			
DEFERRED SUBMITTALS	107.3.4.1		THERE ARE NO DEFERRED SUBMITTALS FOR THIS PROJECT
DESIGN PROFESSIONAL IN CHARGE	107.3.4		CODY NEWMAN IS TO BE THE DESIGN PROFESSIONAL IN CHARGE
SPECIAL INSPECTIONS	110		THERE ARE NO SPECIAL INSPECTIONS FOR THIS PROJECT
3 - USE			
BUILDING USE	304	BEFORE - B (BUSINESS)	AFTER - B (BUSINESS)
3 - GROSS BUILDING AREA			
0 - BASEMENT			800 SF
1 - FIRST FLOOR			2,991 SF
2 - SECOND FLOOR			400 SF
TOTAL			4,191 SF
5 - GENERAL BUILDING HEIGHTS AND AREAS			
ALLOWABLE BUILDING HEIGHT	TABLE 504.3	40 FEET	25 FEET
BASE STORIES ALLOWED	TABLE 504.4	3 STORIES	2 STORIES
TABULAR AREA	TABLE 506.2	12,500 SF	4,191 SF
6 - TYPE OF CONSTRUCTION			
TYPE OF CONSTRUCTION	TABLE 601		V-B
7 - FIRE AND SMOKE PROTECTION			
			THERE ARE NO SPECIAL REQUIREMENTS
9 - FIRE PROTECTION SYSTEMS			
AUTOMATIC SPRINKLER SYSTEM	903.2.1.3	LESS THAN 12,000 SF, NOT REQUIRED	NOT PROVIDED
FIRE ALARM AND DETECTION SYSTEMS	907	SEE REQUIREMENTS	NOT PROVIDED
10 - MEANS OF EGRESS			
DOOR EGRESS WIDTH	1005.3.2	72"	144"
EXIT ACCESS TRAVEL DISTANCE	TABLE 1017.2	200 FEET	76 FEET
NUMBER OF EXITS	TABLE 1006.3.1	2	3
10 - OCCUPANCY			
OCCUPANCY	TABLE 1004.1.2	2,991 SF/ 100	30 PEOPLE
OCCUPANCY	TABLE 1004.1.2	1240 SF/500	3 PEOPLE
TOTAL OCCUPANT LOAD			33 PEOPLE
15 - ROOF ASSEMBLY			
	1501.1		EXISTING ASPHALT SHINGLE ROOF TO REMAIN
27 - ELECTRICAL			
EMERGENCY LIGHTING	1008.1	WILL COMPLY	ON COMPLIANCE DRAWINGS
EMERGENCY POWER	1008.3.2.1	WILL COMPLY	ON COMPLIANCE DRAWINGS
EXIT SIGNS	1011.1	WILL COMPLY	ON COMPLIANCE DRAWINGS
28 - PLUMBING			
DRINKING FOUNTAIN REQUIREMENTS	TABLE 403.1	1 REQUIRED	1 PROVIDED
LAVATORY REQUIREMENTS	TABLE 403.1	1 MALE/ 1 FEMALE	1 MALE/ 1 FEMALE
SERVICE SINK REQUIREMENTS	TABLE 403.1	1 REQUIRED	1 PROVIDED
WATER CLOSETS REQUIREMENTS	TABLE 403.1	1 MALE/ 1 FEMALE	1 MALE/ 1 FEMALE

CODE COMPLIANCE GENERAL NOTES

- ENSURE EXIT SIGNS ARE MOUNTED ABOVE THE DOORS AND VISIBLE FROM 75 FEET AWAY. ALL EGRESS LIGHTING IS TO POINT DOWN TO ILLUMINATE THE EGRESS PATH OF TRAVEL.
- ALL FIRE EXTINGUISHERS ARE TO BE ABC EXTINGUISHERS, UNLESS NOTED OTHERWISE. ALL EXTINGUISHERS ARE TO BE TAGGED WITH THE CURRENT YEAR'S INSPECTION ON IT. ANNUAL INSPECTIONS ARE TO OCCUR FOR ALL FIRE EXTINGUISHERS.
- PROVIDE ADA RESTROOM SIGNS AT ALL RESTROOMS, CORRESPONDING TO THE CORRECT SEX.
- SEE T002 FOR MOUNTING HEIGHTS AND LOCATIONS
- SEE T003 FOR ADDITIONAL CODE COMPLIANCE INFORMATION
- FURNITURE AND EQUIPMENT SHOWN ON COMPLIANCE DRAWINGS ARE FOR REFERENCE ONLY



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CODE COMPLIANCE
T004



1. EXISTING BUILDING TO REMAIN ON THE EXISTING SITE
2. THE UTILITIES THAT ARE CURRENTLY CONNECTED TO THE BUILDING ARE TO REMAIN
3. CONTACT MISS DIG TO LOCATE ALL EXISTING UTILITIES BEFORE DOING ANY SITE WORK
4. PATCH EXISTING ASPHALT PARKING LOT AS REQUIRED, RESTRIPE PARKING LOT IF REQUIRED
5. EXISTING VEGETATION TO REMAIN ON THE SITE, TRIM AS REQUIRED
6. WORK WITHIN THE STREET TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION.
7. PERMITS, TESTING, BONDS & INSURANCES ETC., SHALL BE PAID FOR BY THE CONTRACTOR. CITY INSPECTION FEES SHALL BE PAID FOR BY THE OWNER.
8. A NEW ITEM IS BEING ADDED TO THE SITE AS SHOWN ALONG WITH A DUMPSTER ENCLOSURE. ALL OTHER SITE ELEMENTS ARE TO REMAIN AS IS FOR THIS PROJECT.

25 PARKING SPACES PROVIDED, INCLUDING ONE VAN ACCESSIBLE ADA PARKING SPACE

SITUATION IN THE CITY OF MARSHALL, COUNTY OF CALHOUN, STATE OF MICHIGAN, TO WIT:
CHAIN 1: LOTS NUMBER ONE (1) AND TWO (2) IN BLOCK 15 OF THE CITY OF MARSHALL, COUNTY OF CALHOUN AND STATE OF MICHIGAN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS IN AND FOR CALHOUN COUNTY, MICHIGAN.

CHAIN 2: THE WEST 3 1/2 RODS OF LOT 3 BLOCK 15, CITY OF MARSHALL, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, ON PAGE 11 IN THE OFFICE OF THE REGISTER OF DEEDS FOR CALHOUN COUNTY, MICHIGAN.

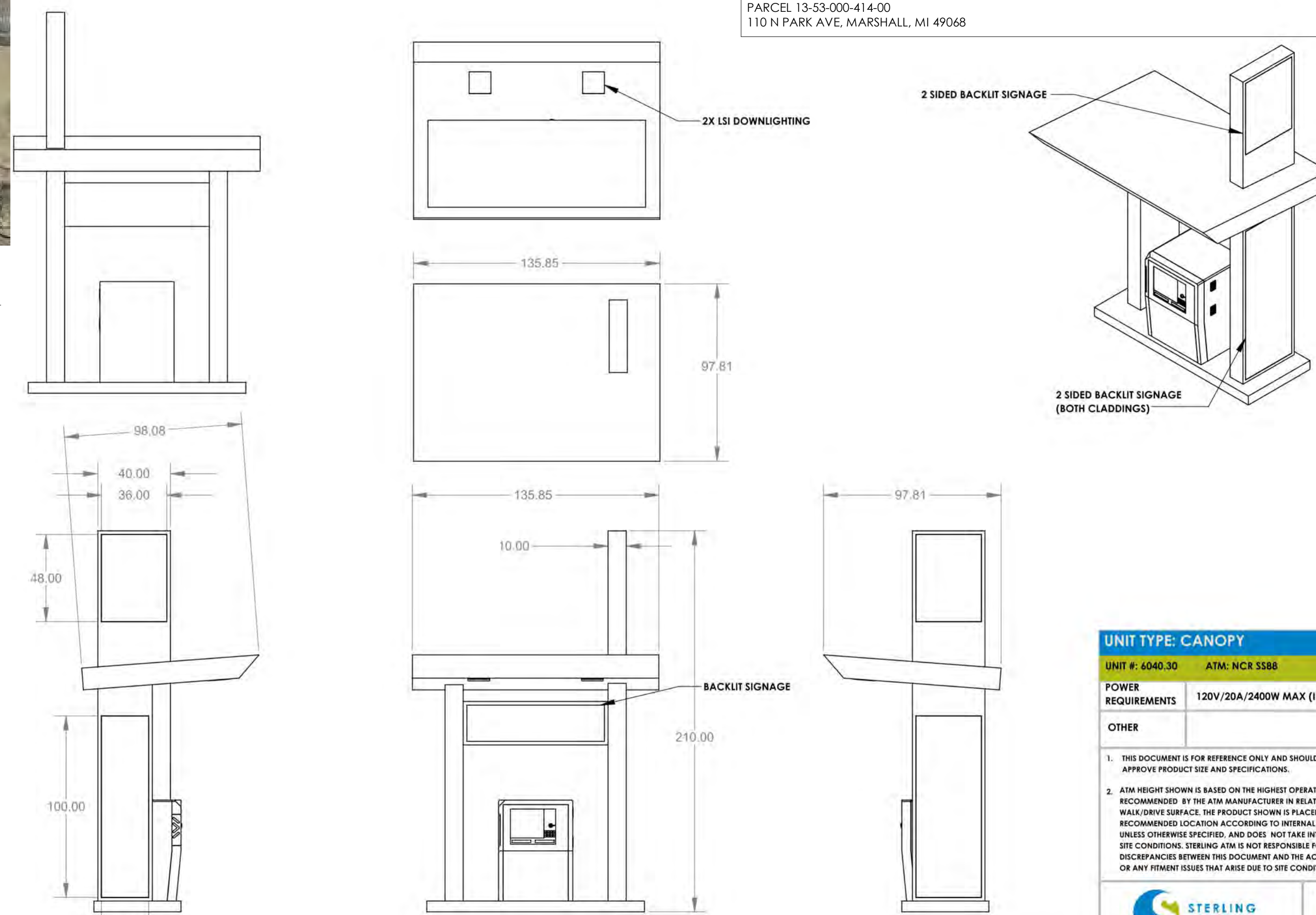
CHAIN 3: BEGINNING AT THE NORTHWEST CORNER OF LOT NO. 4, BLOCK 15 OF ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF MARSHALL, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, ON PAGE 11, IN THE OFFICE OF THE REGISTER OF DEEDS FOR CALHOUN COUNTY, MICHIGAN: THENCE ALONG THE NORTH BOUNDARY THEREOF FOR 53.90 FEET; THENCE SOUTHERLY AND PARALLEL TO THE WEST LINE OF SAID LOT 4, FOR 50.00 FEET; THENCE WESTERLY AND PARALLEL TO THE SOUTH LINE OF SAID LOT 4, FOR 20.90 FEET; THENCE SOUTHERLY AND PARALLEL TO THE WEST BOUNDARY OF SAID LOT 4, FOR 3.00 FEET; THENCE WESTERLY AND PARALLEL WITH THE SOUTH BOUNDARY OF SAID LOT 4 FOR 33.00 FEET; THENCE NORTHERLY ALONG THE WEST LINE OF SAID LOT 4 FOR 53.27 FEET TO THE PLACE OF BEGINNING.

LOTS NUMBER ONE (1) AND TWO (2) IN BLOCK 15 OF THE CITY OF MARSHALL, COUNTY OF CALHOUN AND STATE OF MICHIGAN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS IN AND FOR CALHOUN COUNTY, MICHIGAN.

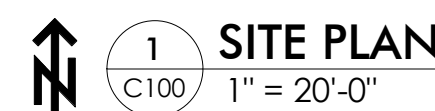
PARCEL 53-000-411-00
107 N PARK AVE, MARSHALL, MI 49068
THE WEST 3 1/2 RODS OF LOT 3 BLOCK 15, CITY OF MARSHALL, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, ON PAGE 11 IN THE OFFICE OF THE REGISTER OF DEEDS FOR CALHOUN COUNTY, MICHIGAN.

PARCEL 13-53-000-413-00
307 W MANSION STREET, MARSHALL, MI 49048
BEGINNING AT THE NORTHWEST CORNER OF LOT NO. 4, BLOCK 15 OF ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF MARSHALL, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3 OF PLATS, ON PAGE 11, IN THE OFFICE OF THE REGISTER OF DEEDS FOR CALHOUN COUNTY, MICHIGAN: THENCE ALONG THE NORTH BOUNDARY THEREOF FOR 53.90 FEET; THENCE SOUTHERLY AND PARALLEL TO THE WEST LINE OF SAID LOT 4, FOR 50.00 FEET; THENCE WESTERLY AND PARALLEL TO THE SOUTH LINE OF SAID LOT 4, FOR 20.90 FEET; THENCE SOUTHERLY AND PARALLEL TO THE WEST BOUNDARY OF SAID LOT 4, FOR 3.00 FEET; THENCE WESTERLY AND PARALLEL WITH THE SOUTH BOUNDARY OF SAID LOT 4 FOR 33.00 FEET; THENCE NORTHERLY ALONG THE WEST LINE OF SAID LOT 4 FOR 53.27 FEET TO THE PLACE OF BEGINNING.

PARCEL 13-53-000-414-00
110 N PARK AVE, MARSHALL, MI 49068



UNIT TYPE: CANOPY	
UNIT #: 6040.30	ATM: NCR S588
POWER REQUIREMENTS	120V/20A/2400W MAX (IF APPLICABLE)
OTHER	
<p>1. THIS DOCUMENT IS FOR REFERENCE ONLY AND SHOULD ONLY BE USED TO APPROVE PRODUCT SIZE AND SPECIFICATIONS.</p> <p>2. AIM HEIGHT SIGNING IS BASED ON THE HIGHEST OPERATING POINT (HOP) RECOMMENDED BY THE AIM MANUFACTURER IN RELATION TO THE WALL OVER SURFACE. THE PRODUCT SIGNAGE IS PLACED IN THE RECOMMENDED LOCATION ACCORDING TO INTERNAL SPECIFICATIONS, UNLESS OTHERWISE SPECIFIED, AND DOES NOT TAKE INTO ACCOUNT SPECIFIC SITE CONDITIONS. STERLING AIM IS NOT RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN THIS DOCUMENT AND THE ACTUAL AIM LOCATION, OR ANY FITMENT ISSUES THAT ARISE DUE TO SITE CONDITIONS.</p>	
REVISION #:	
 	
DRAWN BY: MatthewP	DATE: 9/2/2021

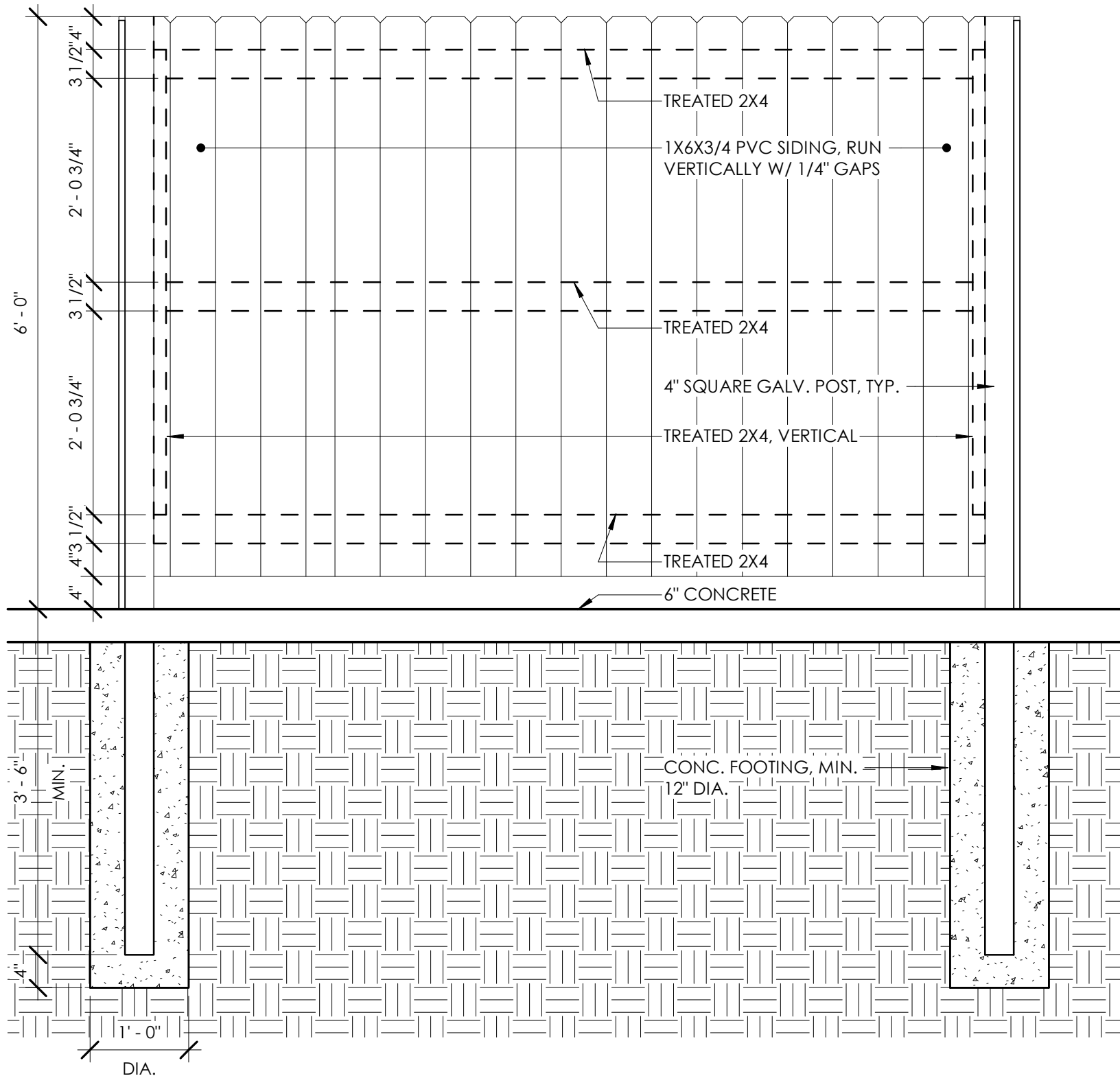
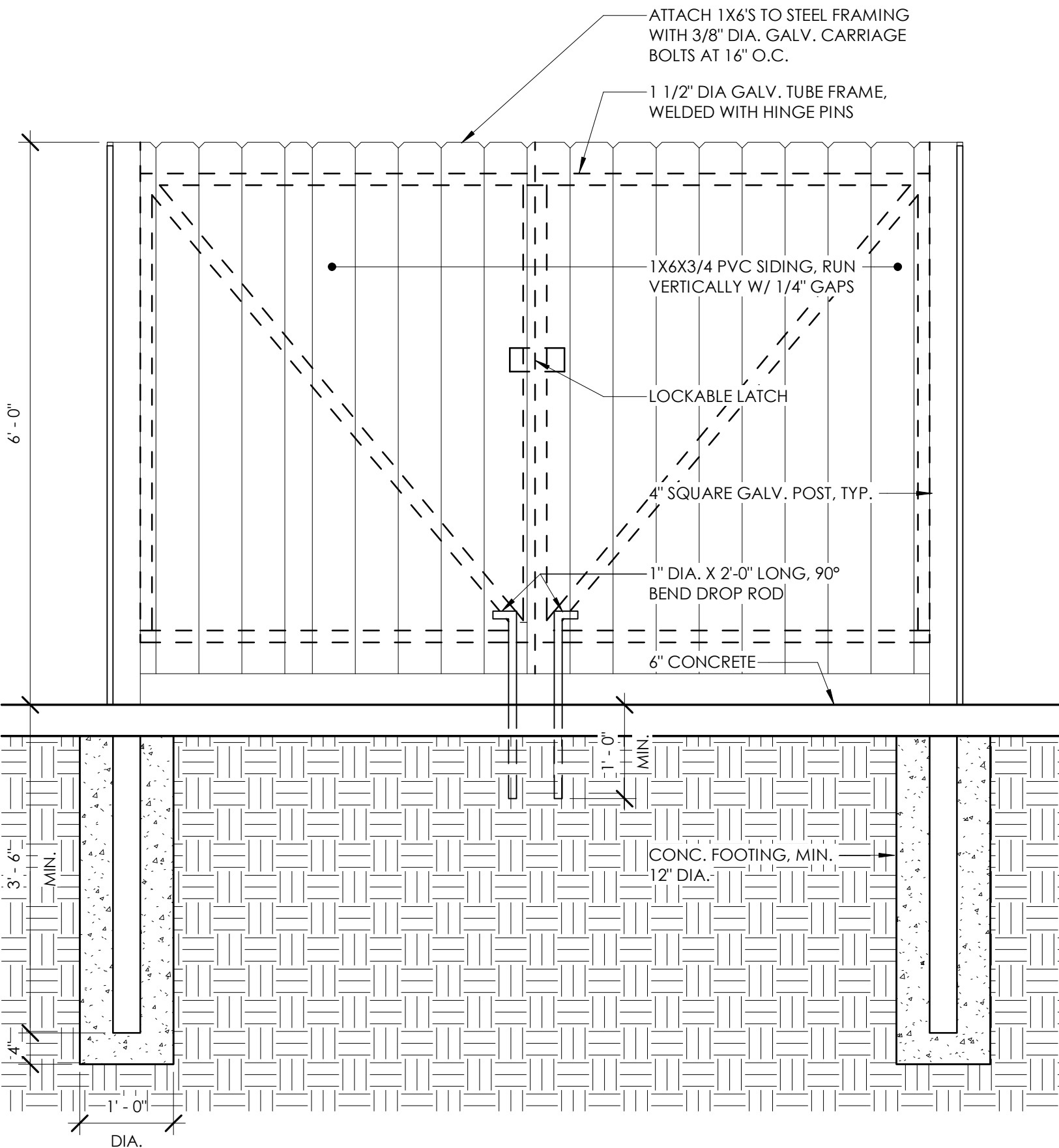
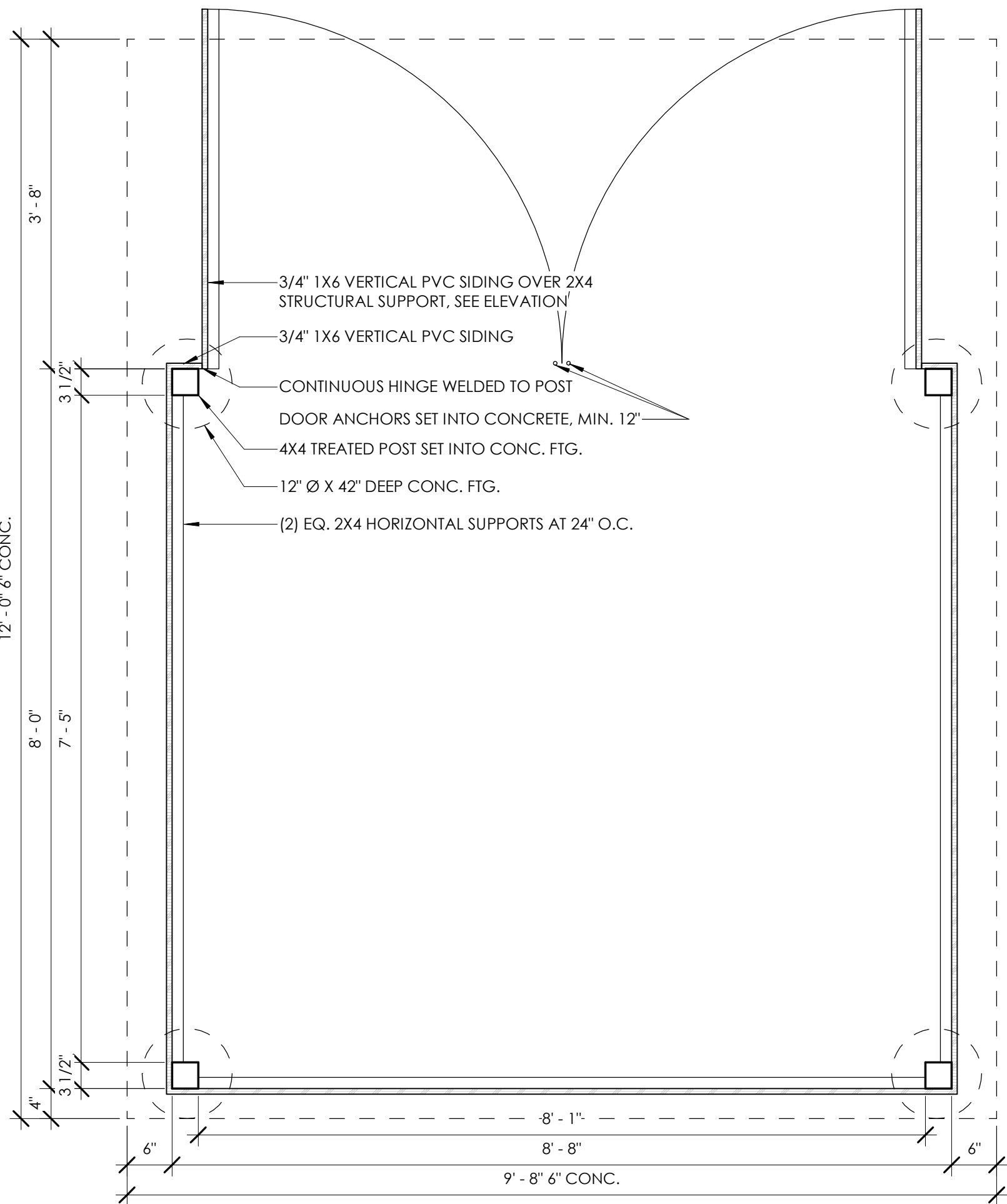


ITM ACCESS - FOR REFERENCE



ZONING MAP W/NEIGHBORING PROPERTIES

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GENERAL NOTES

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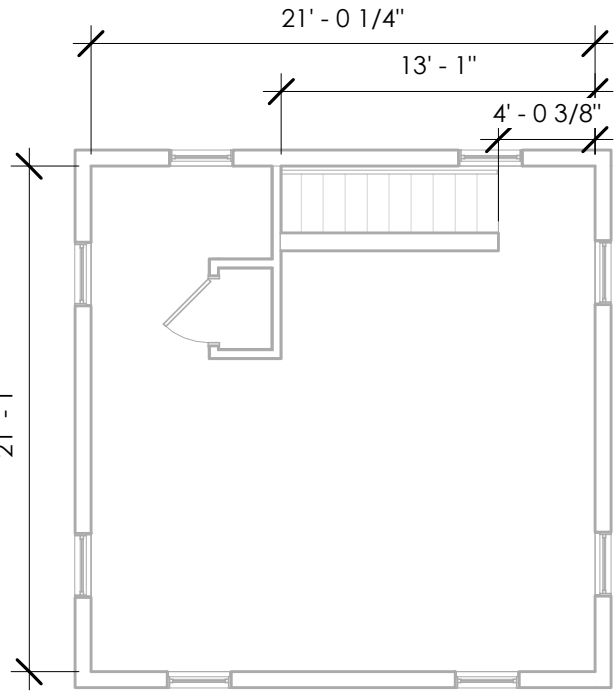
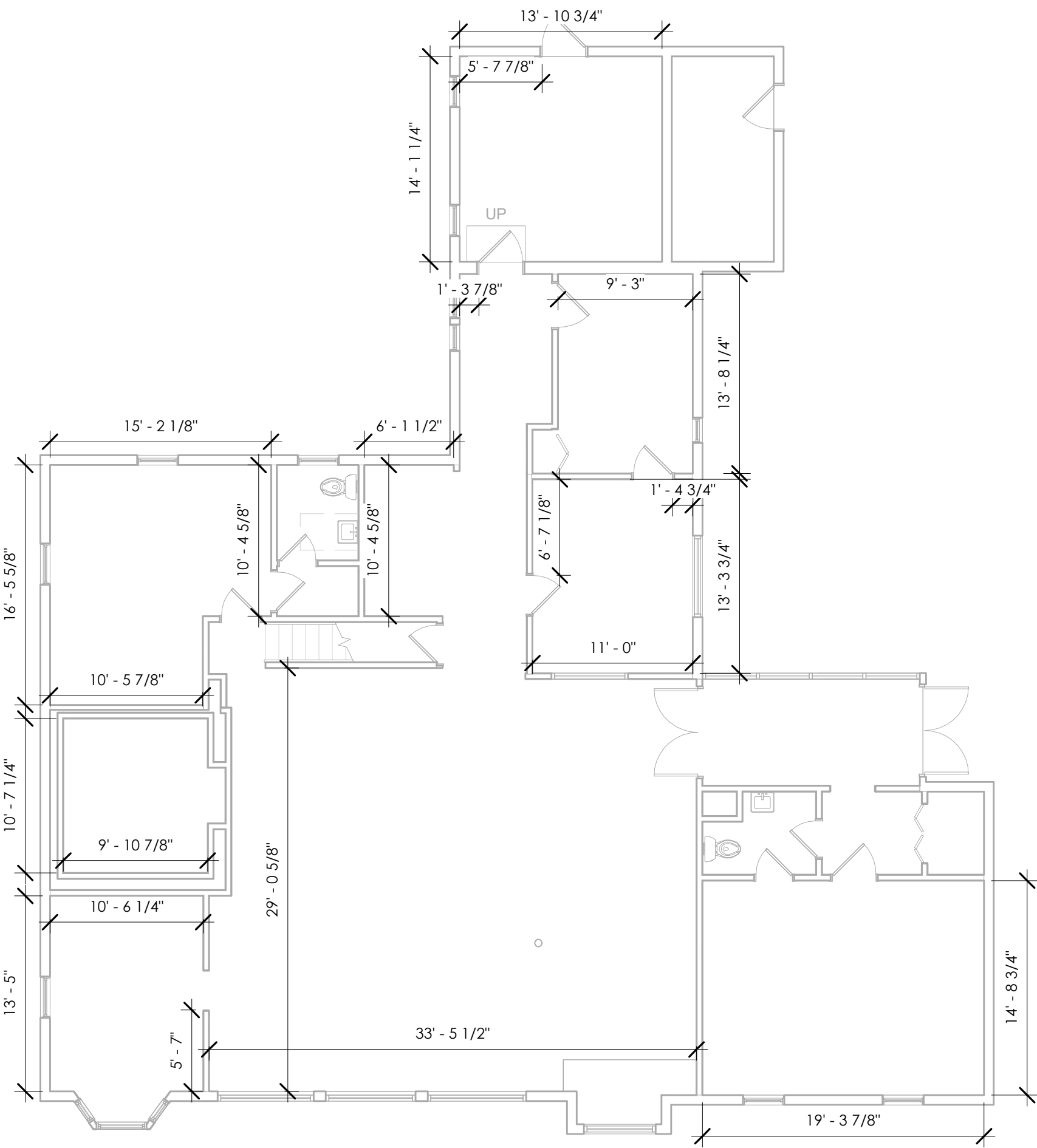
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EXISTING FLOOR PLANS

A000



1 FIRST FLOOR EXISTING PLAN
A000 1/8" = 1'-0"

2 SECOND FLOOR EXISTING PLAN
A000 1/8" = 1'-0"

DEMOLITION NOTES

1. REMOVE ALL DASHED WALLS, WINDOWS, AND DOORS COMPLETELY.
2. OWNER TO REMOVE ALL FURNISHINGS/ EQUIPMENT THAT THEY WISH TO RETAIN FROM THE AREAS OF DEMOLITION/ CONSTRUCTION PRIOR TO THE START OF CONSTRUCTION WORK IN EACH AREA. OWNER TO COORDINATE WITH CONTRACTOR REGARDING THE TIME SCHEDULE FOR THIS TO BE COMPLETED.
3. PATCH AND FILL ANY HOLES IN THE WALL CAUSED BY THE REMOVAL OF DOORS, WINDOWS, OR WALLS TO MATCH SURROUNDINGS.
4. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL SURFACES NOT BEING REMODELED IN THE PROJECT AND IN THE PATH OF THE CONTRACTORS TRAVEL, SETUP AND/ OR PROJECT MATERIAL STORAGE. THE CONTRACTOR MUST RETURN THE AREAS DISTURBED AS REQUIRED FOR ACCESS TO ITS PRE-EXISTING CONDITION.
5. ANY HAZARDOUS MATERIALS ARE TO BE REMOVED BY A LICENSED PROFESSIONAL IN THE STATE OF MICHIGAN.
6. ALL SAFETY ISSUES RELATED TO DEMOLITION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST COMPLY WITH ALL STATE, LOCAL, ENVIRONMENTAL AND LABOR LAWS DURING THE CONSTRUCTION OF THIS PROJECT.
7. SEQUENCE DEMOLITION WITH STRUCTURAL WORK TO ASSURE SAFETY. PROVIDE SHORING AS REQ'D TO ENSURE SAFE CONDITIONS EXIST. SHORING IS NOT SHOWN ON PLANS. STRUCTURAL ELEMENTS ARE TO REMAIN, UNLESS NOTED OTHERWISE. COORDINATE WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
8. ALL TRADES TO COORDINATE BETWEEN ONE ANOTHER TO AVOID CONFLICTS.
9. NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWINGS TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED. THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. CONTRACTOR SHALL REMOVE ALL MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.
10. THE CONTRACTOR SHOULD TAKE CARE DURING THE PROJECT TO NOT INTERRUPT THE USE IN AREAS NOT IN SCOPE.
11. PRIOR TO ANY DIGGING ON OR AROUND THE SITE UTILITIES ARE TO BE LOCATED USING MISS DIG.
12. ALL RUBBISH AND DEBRIS FROM DEMOLITION IS TO BE REMOVED IMMEDIATELY FROM THE SITE AFTER DEMOLITION. COORDINATE ALL DEMOLITION, DUMPSTER LOCATIONS, BARRICADING, PEDESTRIAN PROTECTION MEASURES, ETC. WITH THE OWNER AND LOCAL MUNICIPALITY PRIOR TO COMMENCEMENT.
13. REMOVE ALL LIGHTING, WIRING, FIRE ALARM DEVICES, RECEPTACLES, AND SPEAKERS FROM WALLS AND CEILINGS BEING REMOVED. COORDINATE WITH ARCHITECT AS REQUIRED. REMOVE ALL ABANDONED EXPOSED CONDUIT AND WIRING BACK TO SOURCE. REMOVE WIRING BACK TO PANEL OR NEAREST JUNCTION BOX. RE-LABEL CIRCUIT BREAKER AS SPARE, IN SCOPE OF WORK.
14. PROVIDE BLANK COVERPLATE OVER EMPTY OUTLET BOXES IF DEVICE IS REMOVED AND NOT REPLACED.
15. REMOVE ALL EXISTING HVAC, FIRE PROTECTION AND PLUMBING EQUIPMENT, PIPING BACK TO MAIN AND ALL ASSOCIATED ACCESSORIES. SANITARY, STORM, AND VENT STACKS TO REMAIN. CAP ANY UNUSED AREAS.
16. SALVAGE MATERIALS AS REQUIRED IF PART OF THE SCOPE IS MATCHING MATERIALS OR INFILL MATERIALS AS PART OF A RENOVATION PROJECT.
17. REMOVE ALL CEILINGS AND FLOOR FINISHES IN AREAS OF DEMOLITION U.N.O.
18. ALL EXISTING COLUMNS AND STRUCTURAL ELEMENTS TO REMAIN. ANY DISCREPANCIES THAT OCCUR IN THE FIELD DURING DEMOLITION SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION.
19. THE CONTRACTOR SHALL MAINTAIN THE JOB SITE TO BROOM CLEAN AT ALL TIMES.
20. THE OWNER WILL MAINTAIN OCCUPANCY OF SPACES ADJACENT TO AREAS OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL POTENTIALLY DISRUPTIVE ACTIVITIES WITH THE OWNER.

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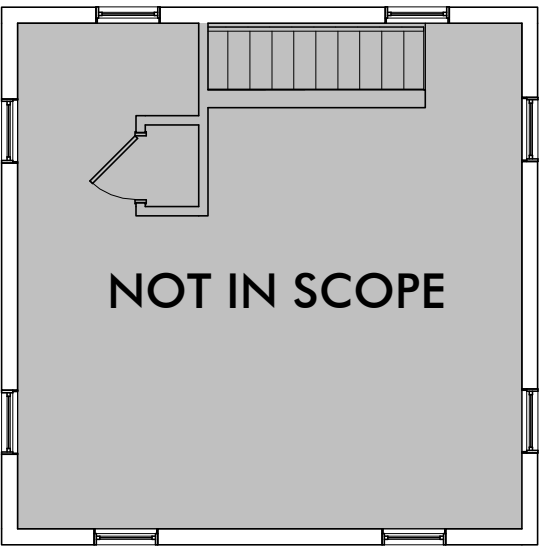
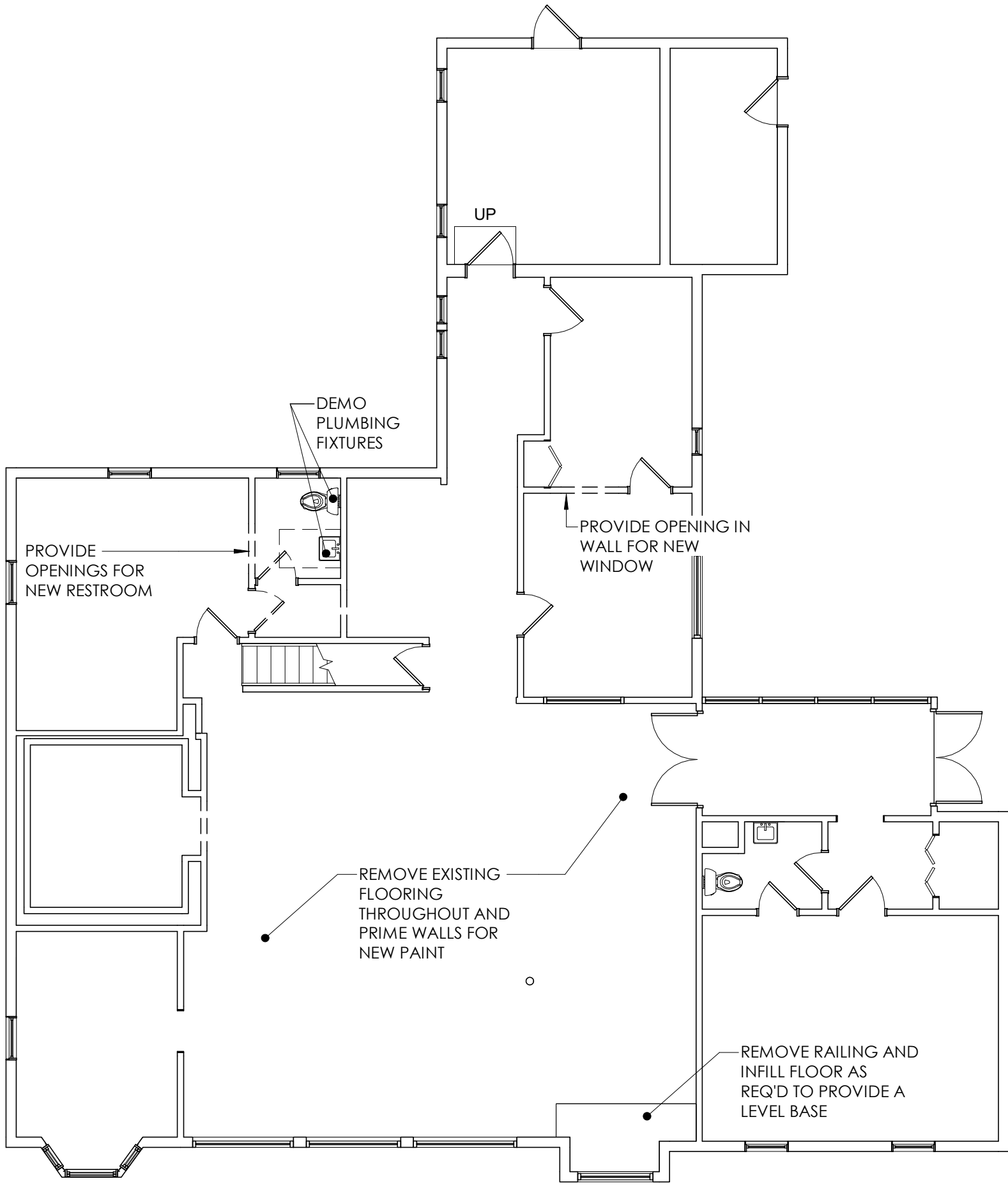
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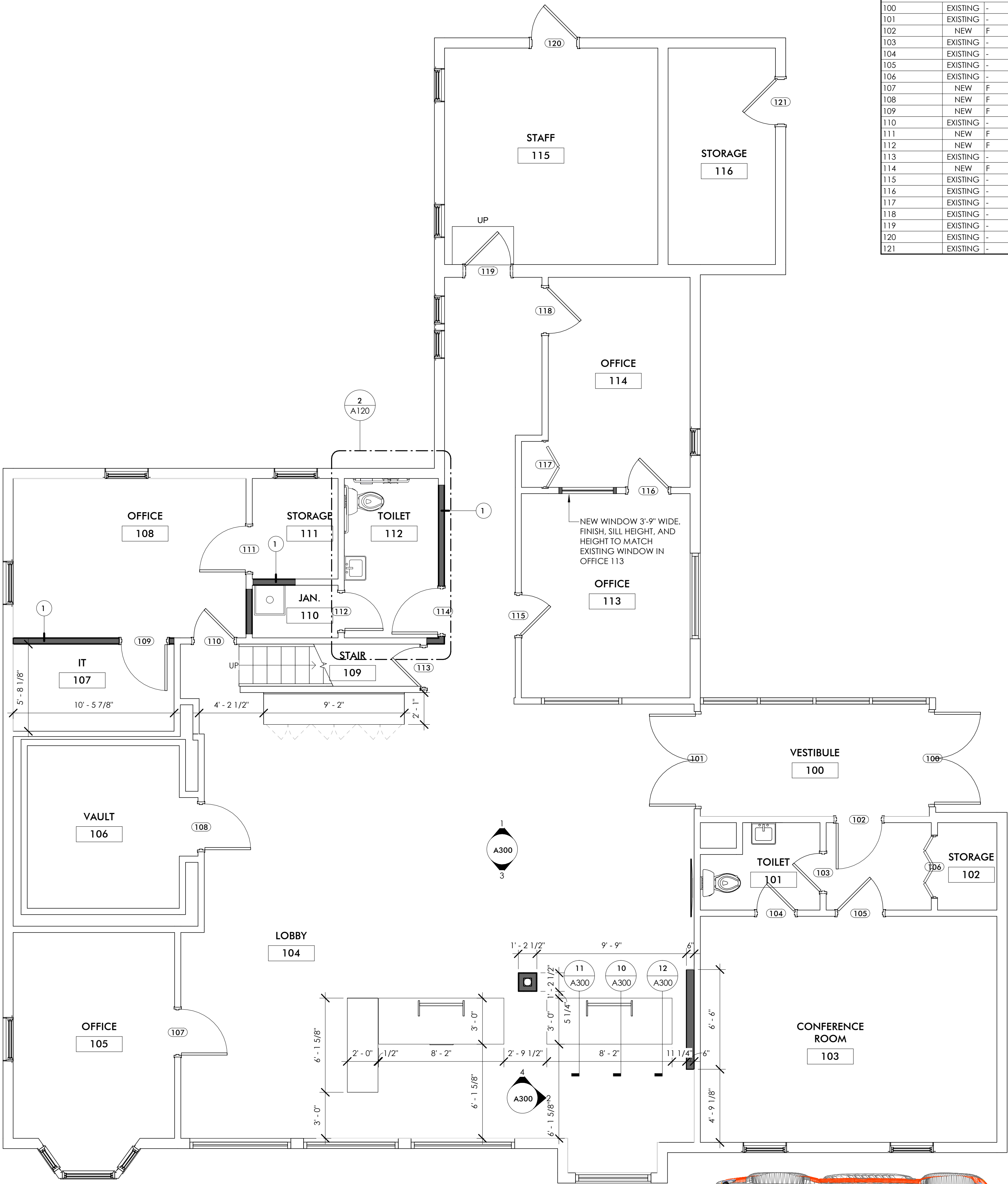
DEMOLITION PLANS

A110



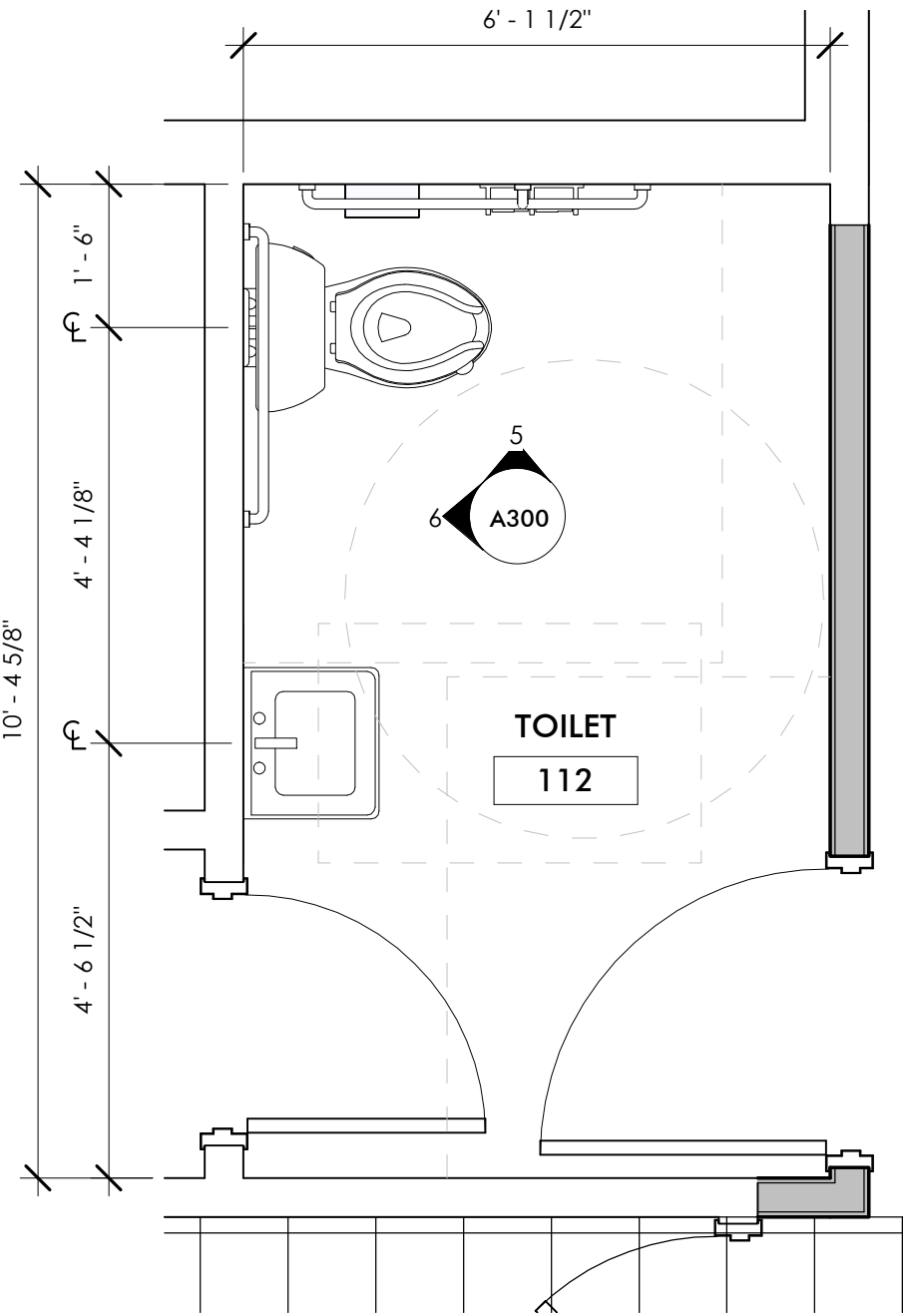
1 FIRST FLOOR DEMOLITION PLAN
A110 1/8" = 1'-0"

2 SECOND FLOOR DEMOLITION PLAN
A110 1/8" = 1'-0"

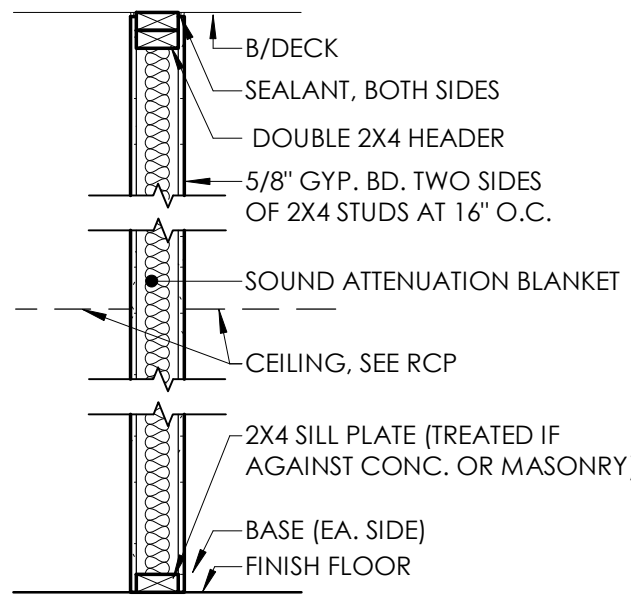


1 FIRST FLOOR PLAN
1/4" = 1'-0"

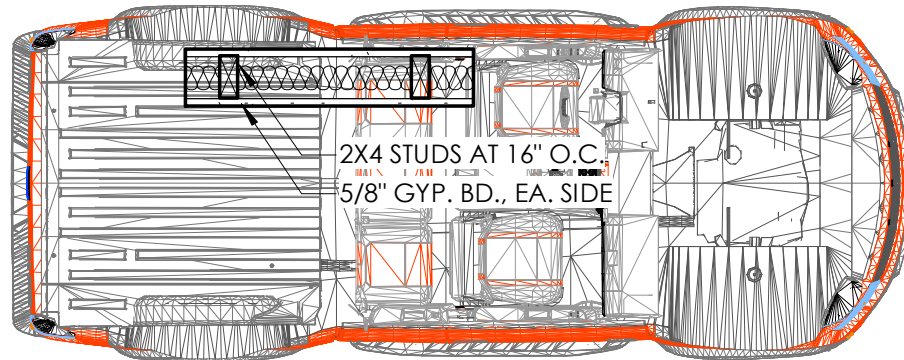
DOOR SCHEDULE								
DOOR NUMBER	NEW OR EXIST	DOOR TYPE	DOOR				DOOR FRAME	
			WIDTH	HEIGHT	THICKNESS	DOOR MAT'L	FRAME MAT'L	
FIRST FLOOR								
100	EXISTING	-	3' - 0"	7' - 0"	1 3/4"	EXISTING	EXISTING	
101	EXISTING	-	3' - 0"	7' - 0"	1 3/4"	EXISTING	EXISTING	
102	NEW	F	3' - 0"	7' - 0"	1 3/4"	WOOD	WOOD	
103	EXISTING	-	2' - 6"	7' - 0"	1 3/4"	EXISTING	EXISTING	
104	EXISTING	-	2' - 6"	7' - 0"	1 3/4"	EXISTING	EXISTING	
105	EXISTING	-	3' - 0"	7' - 0"	1 3/4"	EXISTING	EXISTING	
106	EXISTING	-	4' - 0"	6' - 8"	1 3/4"	EXISTING	EXISTING	
107	NEW	F	3' - 0"	7' - 0"	1 3/4"	WOOD	WOOD	
108	NEW	F	3' - 0"	7' - 0"	1 3/4"	WOOD	WOOD	
109	NEW	F	3' - 0"	7' - 0"	1 3/4"	WOOD	WOOD	
110	EXISTING	-	2' - 8"	8' - 0"	1 3/4"	EXISTING	EXISTING	
111	NEW	F	3' - 0"	7' - 0"	1 3/4"	WOOD	WOOD	
112	NEW	F	2' - 6"	7' - 0"	1 3/4"	WOOD	WOOD	
113	EXISTING	-	2' - 8"	6' - 8"	1 3/4"	EXISTING	EXISTING	
114	NEW	F	3' - 0"	7' - 0"	1 3/4"	WOOD	WOOD	
115	EXISTING	-	2' - 8"	6' - 8"	1 3/4"	EXISTING	EXISTING	
116	EXISTING	-	2' - 8"	6' - 8"	1 3/4"	EXISTING	EXISTING	
117	EXISTING	-	3' - 0"	7' - 0"	1 3/4"	EXISTING	EXISTING	
118	EXISTING	-	3' - 0"	6' - 8"	1 3/4"	EXISTING	EXISTING	
119	EXISTING	-	3' - 0"	6' - 8"	1 3/4"	EXISTING	EXISTING	
120	EXISTING	-	3' - 0"	6' - 8"	1 3/4"	EXISTING	EXISTING	
121	EXISTING	-	3' - 0"	7' - 0"	1 3/4"	EXISTING	EXISTING	



2 ENLARGED TOILET ROOM
1/2" = 1'-0"



PARTITION TYPE - 1



GENERAL NOTES

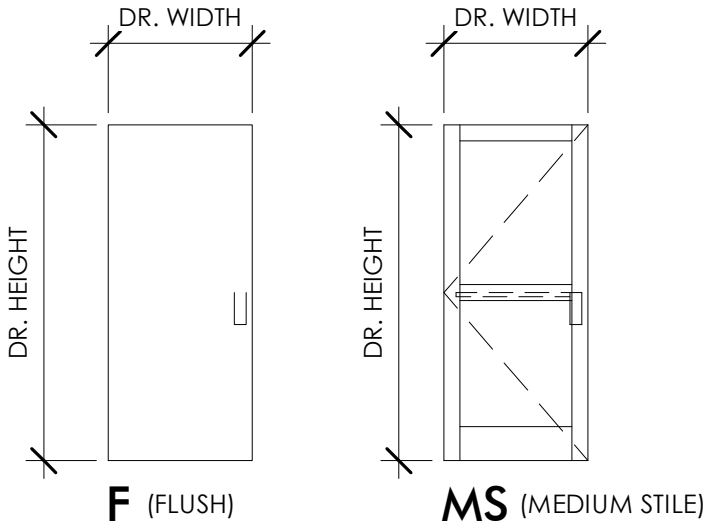
- ALL GYPSUM BOARD THROUGHOUT IS TO BE 5/8" TYPE-X AS A MINIMUM.
- ALL EXISTING INTERIOR WALLS THAT ARE TO REMAIN ARE TO BE PATCHED AS REQUIRED FROM NEW UTILITIES OR GENERAL CONSTRUCTION.
- INFILL OF EXISTING WALL OPENINGS IS TO RESULT IN FLUSH FINISHES ON BOTH SIDES OF THE WALL, UNLESS OTHERWISE NOTED, USE APPROPRIATE STUD FRAMING TO ACHIEVE DESIRED FINISH.
- INSTALL WOOD BLOCKING IN WALLS AS NECESSARY FOR INSTALLATION OF ALL CASEWORK, MIRRORS, TOWEL BARS, SHOWER CURTAIN RODS, TOILET PAPER DISPENSERS, PAPER TOWEL HOLDERS, TOILET PARTITIONS, RAILINGS, AND ANY OTHER ACCESSORIES.
- PROVIDE CEMENT BOARD IN LIEU OF GYPSUM BOARD AT ALL BATHTUB, SHOWER, AND KITCHEN LOCATIONS TO RECEIVE WALL TILE. COORDINATE WITH INTERIORS.
- DRAWINGS ESTABLISH THE DESIGN INTENT OF WORK TO BE PERFORMED. ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL TRADES SHALL CAREFULLY COORDINATE WORK OF ALL OTHER TRADES. CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS AND FOR VERIFYING THEM WITH THE CONTRACT DOCUMENTS. ANY DISCREPANCIES OR CONFLICTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND THE OWNER PRIOR TO FABRICATION OR INSTALLATION.
- COORDINATE SIZE AND LOCATION OF ALL EQUIPMENT SUPPORTS INCLUDING BUT NOT RESTRICTED TO CONCRETE HOUSEKEEPING PADS WITH APPROPRIATE EQUIPMENT MANUFACTURER.
- VERIFY QUANTITY, SIZE, AND LOCATION OF ALL FLOOR, ROOF, AND WALL OPENINGS FOR ALL DISCIPLINES INCLUDING BUT NOT RESTRICTED TO MECHANICAL AND ELECTRICAL WORK WITH THE APPROPRIATE TRADE. PROVIDE ALL OPENINGS SHOWN OR REQUIRED FOR THE COMPLETION OF THE WORK. PROVIDE ALL LINTELS REQUIRED FOR THESE OPENINGS PER SPECIFICATIONS.
- VERIFY QUANTITY, SIZE, AND LOCATION OF ALL FLOOR, ROOF, AND WALL OPENINGS FOR ALL DISCIPLINES INCLUDING BUT NOT RESTRICTED TO MECHANICAL AND ELECTRICAL WORK WITH THE APPROPRIATE TRADE.
- DIMENSIONS PRECEDED BY +/- SHOULD BE REVIEWED AND ALL NECESSARY ADJUSTMENTS MADE PRIOR TO FABRICATION AND/OR INSTALLATION OF AFFECTED WORK. NOTIFY ARCHITECT'S REPRESENTATIVE IF DISCREPANCIES ARISE BEFORE PROCEEDING WITH THE WORK.
- BATHROOM MIRRORS AND LIGHT FIXTURES ABOVE VANITIES SHALL BE CENTERED ON THE SINKS.

ABBREVIATIONS

WOOD - WOOD VENEER ON SOLID CORE WOOD DOOR
H.M. - HOLLOW METAL
PT - INTERIOR PAINT SYSTEM
EXIST - EXISTING
ALUM - ALUMINUM
FS - ROLLING FIRE SHUTTER
SCD - SOLID CORE DOOR
AE - AUTOMATIC ENTRY DOORS
WD - WOOD VENEER

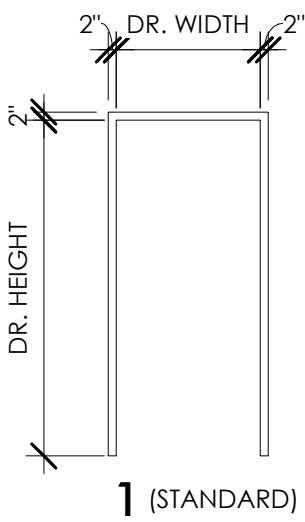
GENERAL NOTES

- REFER TO DOOR SCHEDULE FOR HEIGHTS, WIDTHS AND GLAZING TYPES.
- ALL HARDWARE TO BE ADA COMPLIANT LEVER HARDWARE.
- ALL EXTERIOR AND RATED DOORS ARE TO HAVE ADA COMPLIANT SILLS WITH MAX THRESHOLDS OF 1/2"



DOOR TYPES

NOTE: REFER TO DOOR SCHEDULE FOR HEIGHTS / WIDTHS AND GLAZING TYPE



FRAME TYPES

GENERAL NOTES

- ALL FURNITURE IS SHOWN FOR REFERENCE AND SCALE ONLY, ALL FINAL FURNITURE SELECTION IS TO BE BY OWNER
- PRIME AND PAINT ALL SURFACES WITH A MINIMUM (2) FINISH COATS.
- AFTER REMOVING EXISTING FLOORING, GRIND CONCRETE OR REPLACE AND LEVEL SUBFLOOR AS REQUIRED TO PROVIDE A LEVEL SURFACE FOR THE NEW FLOORING
- SEE EXTERIOR ELEVATIONS FOR EXTERIOR MATERIALS
- CENTER ALL FLOORING TRANSITIONS UNDER DOORS OR AT THE CENTER OF OPENINGS U.N.O.
- USE LEVELING COMPOUND TO FEATHER FLOOR UP TO APPROPRIATE HEIGHT TO ENSURE THAT TRANSITION STRIP IS FLUSH WITH ADJACENT FLOORING MATERIAL
- ALL METAL COUNTERTOP SUPPORTS TO BE FIELD PAINTED TO MATCH SURROUNDING WALL FINISH (IN ALKYD, SEMI-GLOSS PAINT FINISH)
- ALL EXPOSED METAL ELEC./MECH. ITEMS IN OCCUPIED SPACES TO BE FIELD-PAINTED TO MATCH SURROUNDING WALL FINISH
- BULKHEADS TO BE PAINTED TO MATCH SURROUNDING WALLS ON FACE AND UNDERSIDE U.N.O
- ALL WINDOWS TO RECEIVE NEW WINDOW TREATMENTS U.N.O. WINDOW COVERING SUBCONTRACTOR RESPONSIBLE FOR FIELD MEASURING AND VERIFYING ALL WINDOWS
- ALL PLASTIC LAMINATE COUNTERS TO HAVE MITERED SQUARE EDGES WITH MATCHING P.LAM EDGE BANDING (OR PVC EDGE BANDING)
- ALL SOLID SURFACE COUNTERTOPS AND BACKSPLASHES TO HAVE MITERED, FINISHED EASED EDGES
- ALL CONCEALED SUPPORT BRACKETS TO BE A&M HARDWARE C/EC FLAT CONCEALED BRACKETS IN APPROPRIATE SIZE - BASIS OF DESIGN
- REFER TO FINISH PLANS AND ELEVATIONS FOR ACCENT WALL LOCATIONS AND MULTIPLE FINISH LOCATIONS
- REFER TO ALL INTERIOR FINISH NOTES AND INTERIOR DRAWINGS INCLUDING PLANS, ELEVATIONS AND DETAILS FOR COMPLETE INTERIORS INFORMATION
- WHERE SPECIFIED, PROVIDE CONTINUOUS LENGTH OF RUBBER WALL BASE WITH FIELD FORMED CORNERS, U.N.O.
- PROVIDE A SMOOTH LEVEL 4 DRYWALL FINISH ON ALL GYPSUM WALLS U.N.O.
- ADDITIONAL FINISHES ARE FOR REFERENCE ONLY

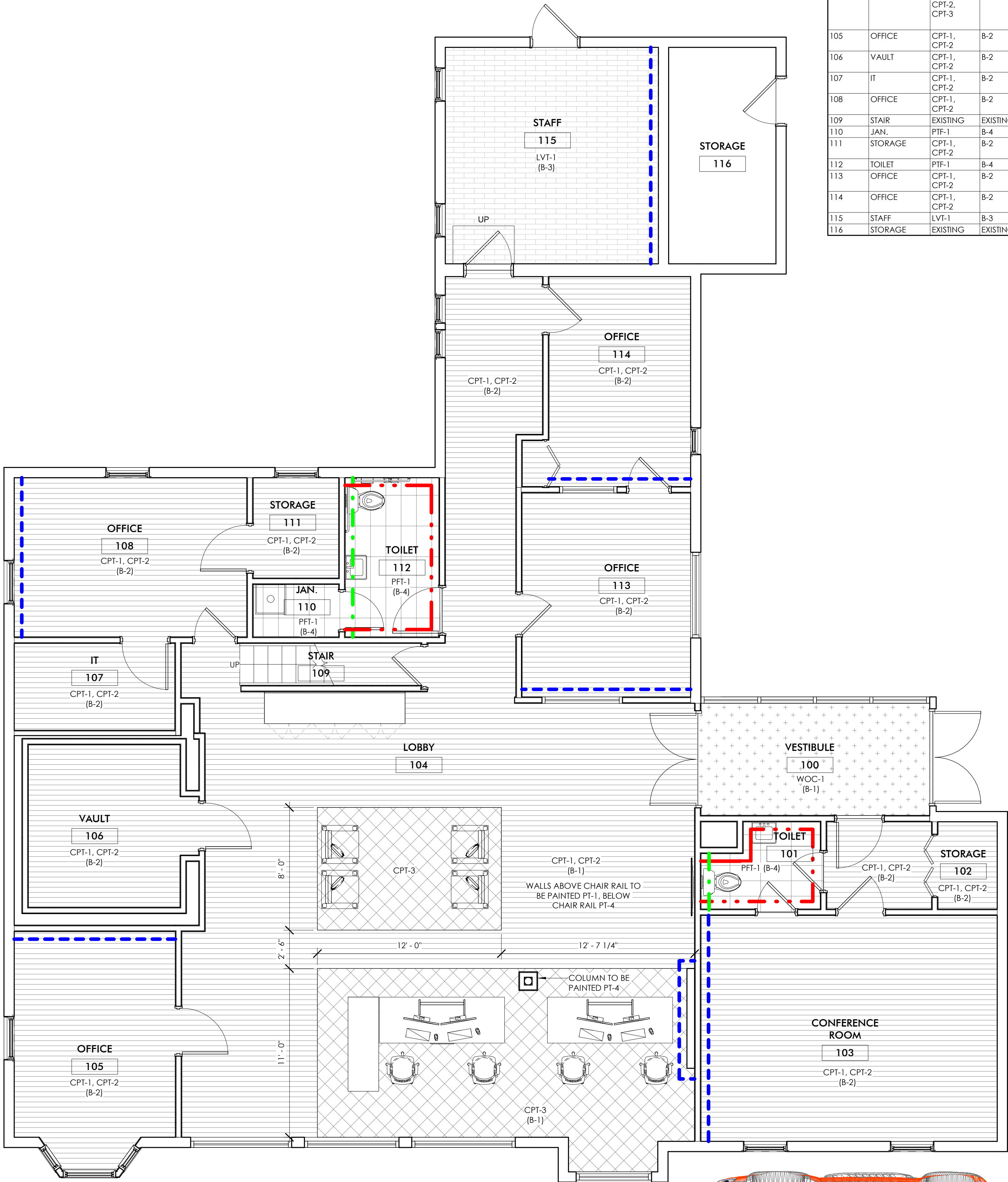
FINISH PLAN SYMBOL LEGEND

	CPT-1 AND CPT-2		PT-3
	CPT-3		VWC-3
	WOC-1		VWC-2
	PTF-1		
	LVT-1		

FINISH SCHEDULE KEY							
CODE	MATERIAL	MANUFACTURER	STYLE	SIZE	COLOR	CONTACT INFO	NOTES
B-1	BASE	JOHNSONITE	MILLWORK, RUBBER, MANDALAY PROFILE	4.5" TALL	20 CHARCOAL		
B-2	BASE	JOHNSONITE	STRAIGHT, RUBBER	4" TALL	20 CHARCOAL		
B-3	BASE	JOHNSONITE	COVE, RUBBER	4" TALL	20 CHARCOAL		
B-4	TILE BASE	CROSSVILLE	MOONSTRUCK	6" X 24"	LUNA AV302	lisa.mclean@virginiatile.com	USE WITH SCHLUTER JOLLY TRIM, MAPEI GROUT IN COLOR SILVER 27
CPT-1	CARPET	INTERFACE	GROUND WAVES	25cm X 1M	GRAVEL/ COLORS	chuck.timmerman@interf ace.com	ASHLAR INSTALLATION, 60% CPT-1 MIXED WITH 40% CPT-2
CPT-2	CARPET	INTERFACE	GROUND WAVES VERSE	25cm X 1M	GRAVEL/ COLORS	chuck.timmerman@interf ace.com	ASHLAR INSTALLATION, 60% CPT-1 MIXED WITH 40% CPT-2
CPT-3	CARPET	INTERFACE	STONE COURSE	50cm X 50cm	GREEN/ STONE	chuck.timmerman@interf ace.com	BRICK INSTALLATION
CPT-4	CARPET	INTERFACE	GROUND WAVES VERSE	25cm X 1M	GRAVEL/ COLORS	chuck.timmerman@interf ace.com	ASHLAR INSTALLATION
LVT-1	LUXURY VINYL TILE	INTERFACE	STUDIO SET	25cm X 1M	PEPPER	chuck.timmerman@interf ace.com	ASHLAR INSTALLATION, CENTER TILE WITHIN ROOM
P-1	PAINT	SHERWIN WILLIAMS	SILVERPOINT SW7653				
P-2	PAINT	SHERWIN WILLIAMS	CEILING BRIGHT WHITE SW 7007				
P-3	PAINT	BENJAMIN MOORE	SUMMER NIGHTS 777				
P-4	PAINT	BENJAMIN MOORE	FLINT AF560				
P-5	PAINT	SHERWIN WILLIAMS	FROLIC SW 6703				
PFT-1	PORCELAIN FLOOR TILE	CROSSVILLE	MOONSTRUCK	12" X 24"	LUNA AV302	lisa.mclean@virginiatile.com	STAGGERED BRICK 1/3 OFFSET INSTALLATION. GROUT TO BE MAPEI IN COLOR SILVER 27
PL-1	PLASTIC LAMINATE	STEELCASE	WOODGRAIN LAMINATE		CLAY NOCE 2HCN/2LCN		MATCHING EDGE BANDING
PL-2	PLASTIC LAMINATE	PIONITE	SUEDE FINISH		ROCK OF AGES AW141		MATCHING EDGE BANDING
QZ-1	QUARTZ	VIATERA			BELLA GECKO		STRAIGHT EDGE
VWC-1	VINYL WALLCOVERING	MAHARAM	BOLT	54"			
VWC-2	VINYL WALLCOVERING	MAHARAM	SPATE	54"	WHIRL		
VWC-3	VINYL WALLCOVERING	MAHARAM	SPATE	54"	SPUR		
WF-1	WINDOW FILM	DECORATIVE FILM	SX-3140 DUSTED CRYSTAL				
WOC-1	WALK-OFF CARPET	INTERFACE	STEP REPEAT SR899	50cm X 50cm	GRANITE	chuck.timmerman@interf ace.com	ASHLAR INSTALLATION
WT-1	WINDOW TREATMENT	DRAPER	MANUAL, PHIFER SHEER WEAVE SW2400		OYSTER/ PEARL GRAY		3% OPENNESS FACTOR, ANODIZED FASCIA COLOR
WT-2	WINDOW TREATMENT	DRAPER	MANUAL, PHIFER SHEER WEAVE SW2500		OYSTER/ PEARL GRAY		1% OPENNESS FACTOR, ANODIZED FASCIA COLOR

NOTE:
- CPT-1, CPT-2, AND CPT-3 TO BE USED AS A BASIS OF DESIGN FOR PRICING PURPOSES ONLY. FINAL SELECTION TO BE BY OWNER.
- ADDITIONAL FINISHES IN THE FINISH KEY ARE FOR REFERENCE ONLY. THESE FINISHES WERE USED AT THE METRO LOCATION AND MAY NOT BE USED IN THIS LOCATION

FINISH SCHEDULE											
ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALL - NORTH	WALL - EAST	WALL - SOUTH	WALL - WEST	CEILING	MILLWORK CABINET	MILLWORK TOP	NOTES
100	VESTIBULE	WOC-1	B-1	P-1	P-1		P-1	EXISTING	-	-	
101	TOILET	PFT-1	B-4	VWC-2	VWC-2	VWC-2	VWC-1	EXISTING	-	-	
102	STORAGE	CPT-1, CPT-2	B-2	P-1	P-1	P-1		EXISTING	-	-	
103	CONFERENCE ROOM	CPT-1, CPT-2	B-2	P-1	P-1	P-1	P-3	EXISTING	-	-	
104	LOBBY	CPT-1, CPT-2, CPT-3	B-1	P-1, P-4	P-1, P-4, P-3	P-1, P-4	P-1, P-4	EXISTING, GYP P-2	PL-1	QZ-1	P-1 ABOVE CHAIR RAIL, P-4 BELOW CHAIR RAIL
105	OFFICE	CPT-1, CPT-2	B-2	P-3	P-1	P-1	P-1	EXISTING	-	-	
106	VAULT	CPT-1, CPT-2	B-2	P-1	P-1	P-1	P-1	EXISTING	-	-	
107	IT	CPT-1, CPT-2	B-2	P-1	P-1	P-1	P-1	EXISTING	-	-	
108	OFFICE	CPT-1, CPT-2	B-2	P-1	P-1	P-1	P-3	EXISTING	-	-	
109	STAIR	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	
110	JAN.	PTF-1	B-4	P-1	P-1	P-1	P-1	GYP P-2	-	-	
111	STORAGE	CPT-1, CPT-2	B-2	P-1	P-1	P-1	P-1	GYP P-2	-	-	
112	TOILET	PTF-1	B-4	VWC-2	VWC-2	VWC-2	VWC-3	GYP P-2	-	-	
113	OFFICE	CPT-1, CPT-2	B-2	P-1	P-1	P-3	P-1	EXISTING	-	-	
114	OFFICE	CPT-1, CPT-2	B-2	P-1	P-1	P-3	P-1	EXISTING	-	-	
115	STAFF	LVT-1	B-3	P-1	P-3	P-1	P-1	EXISTING	-	-	
116	STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	

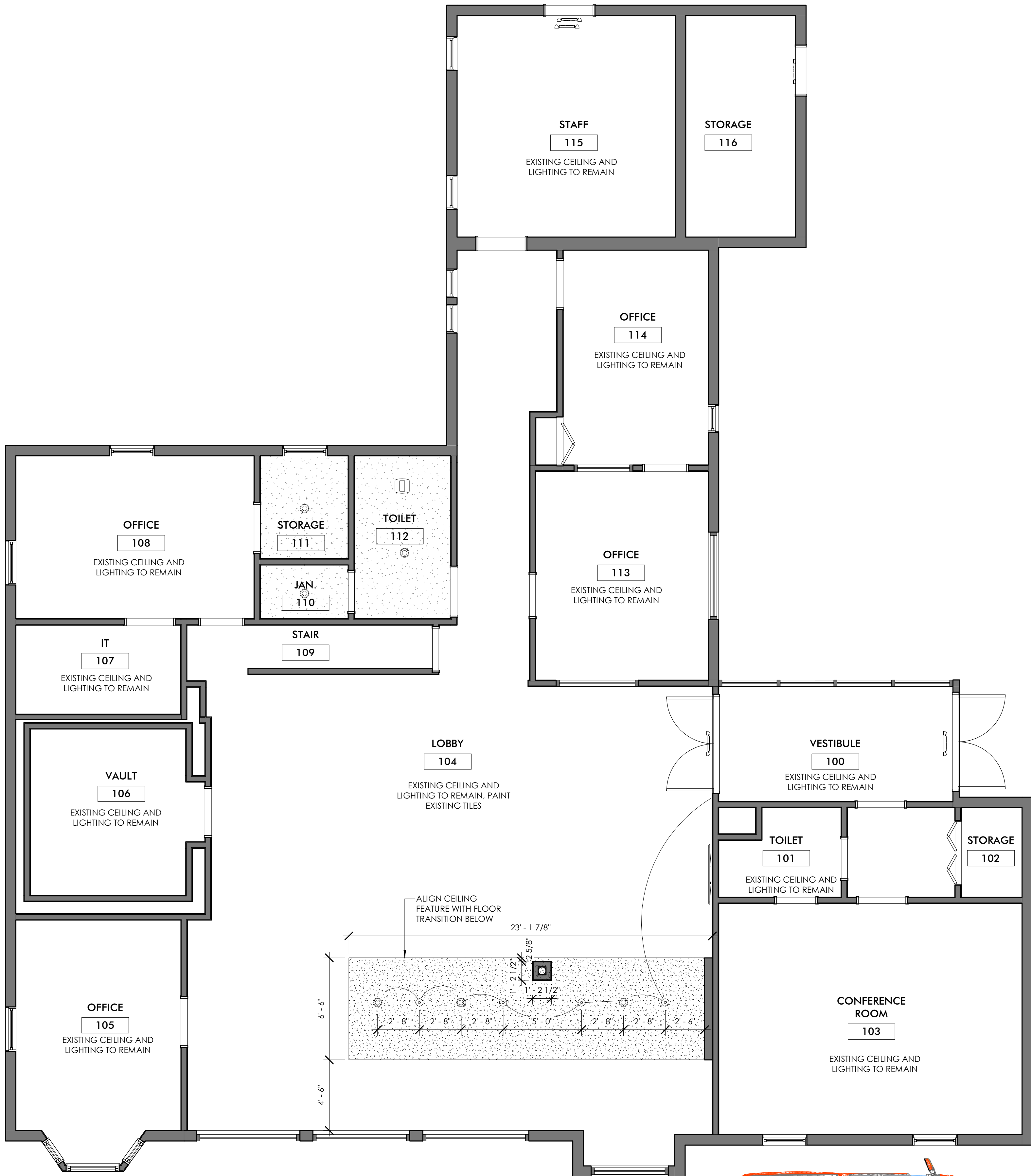


1 FIRST FLOOR FINISH PLAN
A130 1/4" = 1'-0"



1
A200
1/4" = 1'-0"

FIRST FLOOR REFLECTED CEILING PLAN



REFLECTED CEILING GENERAL NOTES

- ALL LIGHT SWITCHES SHALL BE SILENT TYPE, 20 AMP, WHITE COLOR WITH WHITE COVER PLATES.
- ALL NEW LIGHT FIXTURES TO BE LED, FIXTURES AND LAYOUT ARE SHOWN SCHEMATICALLY.
- IF CEILING HEIGHTS ARE NOT CALLED OUT, THEN THE CEILING IS EXISTING OR SHALL BE EXPOSED TO THE EXISTING STRUCTURE ABOVE. CONFIRM WITH ARCHITECT
- COORDINATE LIGHT FIXTURE, MECHANICAL, PLUMBING, ALONG WITH ANY OTHER SYSTEMS AS REQUIRED TO NOT INTERFERE WITH ONE ANOTHER.
- ALL LIGHT FIXTURES AND HVAC SHALL BE CENTERED IN ALL ROOMS, 2X2 CEILING GRIDS, CLOUDS OR BETWEEN OTHER ELEMENTS OR EQUALLY SPACED UNLESS NOTED OTHERWISE.
- ALL 2X2 CEILING GRIDS TO BE CENTERED IN ROOM UNLESS NOTED OTHERWISE. NO PANEL SHALL BE LESS THAN 4" WIDE
- SEE MEP101 FOR ADDITIONAL MECHANICAL, ELECTRICAL, AND PLUMBING NOTES.
- REPLACE ANY CEILING TILES IN CEILINGS THAT ARE TO REMAIN.
- REFER TO INTERIOR ELEVATIONS AND RCP FOR UNDER CABINET LIGHTING LOCATIONS.
- REFER TO ROOM FINISH KEY AND SCHEDULE FOR ACP DESIGNATIONS
- ALL DIMENSIONS ARE FROM CENTER LINE OF FIXTURE TO FINISHED FACE OF WALL
- PATCH AND REPAIR EXISTING CEILING AS REQUIRED THAT WAS DISTURBED DURING DEMOLITION AND/OR NEW CONSTRUCTION ACTIVITIES. PATCH AND REPAIR TO MATCH EXISTING ADJACENT CONSTRUCTION, SUPPORT SYSTEM, CEILING FINISH, PATTERN AND ELEVATION.

LIGHT FIXTURE LEGEND

TAG/SYMBOL	MANUFACTURER & DESCRIPTION	MODEL # / URL
⦿	PENDANT	OWNER SELECTED
⊙	LITHONIA 6" RECESSED CAN LIGHT	LDN6; https://lithonia.acuitybrands.com/products/detail/1112971/lithonia-lighting/contractor-select-ldn6-round-series
🌀	BROAN EXHAUST FAN WITH LED LIGHT, 110 CFM	NUTONE FLEX SERIES; www.broan-nutone.com/en-us/product/ventilationfans/791ledntm
—	LITHONIA EXIT-UNIT COMBO	LHQM LED; https://lithonia.acuitybrands.com/products/detail/48281/lithonia-lighting/lhqm-led/quantumr-led-exit-unit-combo



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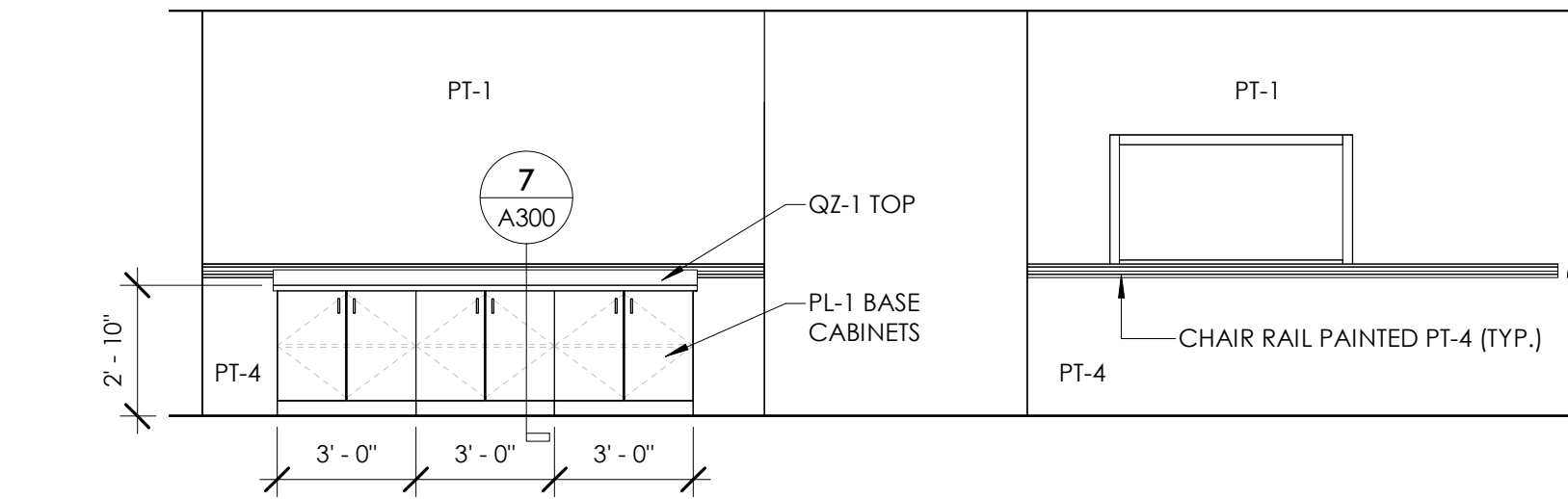
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REFLECTED CEILING PLANS

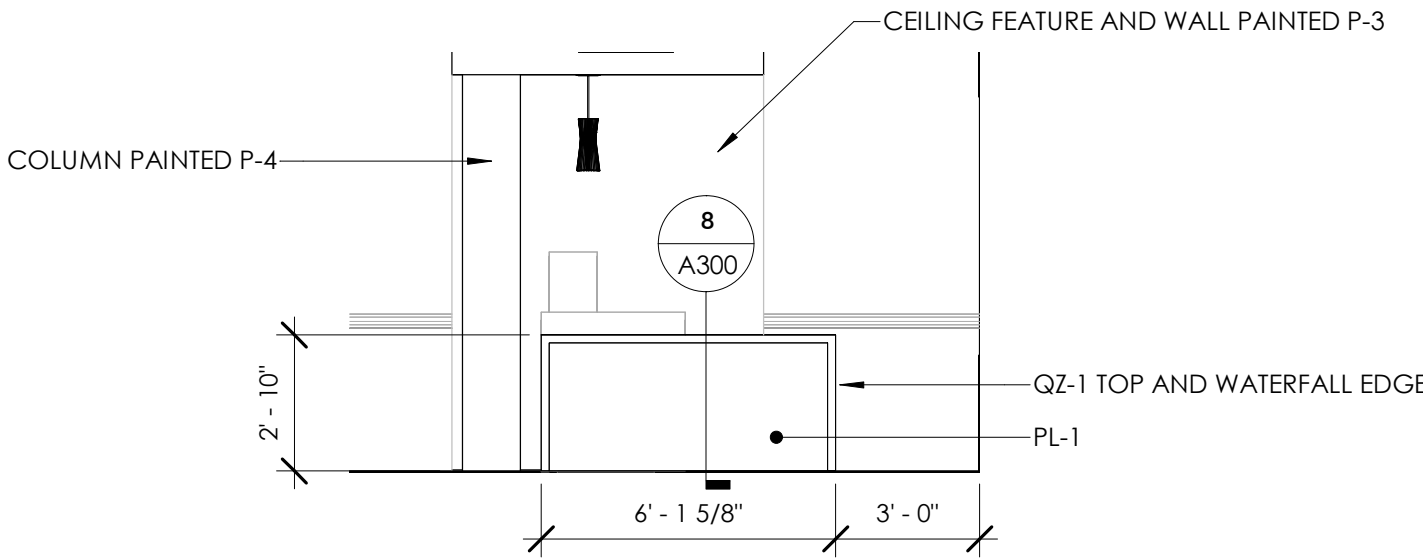
A200

GENERAL NOTES

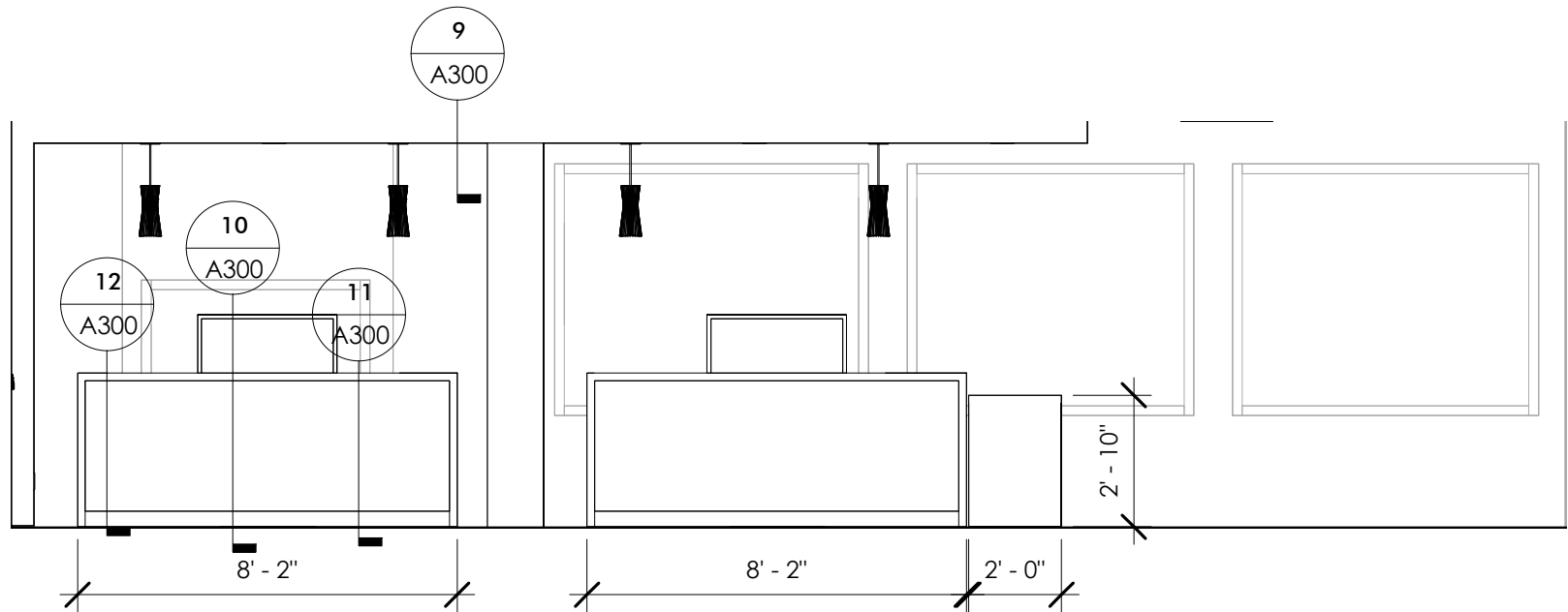
1. REFER TO ROOM FINISH SCHEDULE FOR BASE DESIGNATIONS
2. ACTUAL GROMMET LOCATIONS TO BE DETERMINED BY OWNER. PROVIDE GROMMETS AT ALL KNEE SPACE LOCATIONS
3. PROVIDE FILLER PIECES AT CASEWORK AS REQUIRED
4. LAMINATE ALL VISIBLE SURFACES OF CASEWORK TYP.
5. PROVIDE INSULATED PIPE WRAP ON ALL EXPOSED PIPING.
6. SEE SHEET T002 FOR ACCESSORY MOUNTING HEIGHTS UNLESS SHOWN OTHERWISE
7. REFER TO ENLARGED PLANS FOR ADDITIONAL DIMENSIONS
8. WHERE A SPECIFIED BRACKET IS NOT INDICATED PROVIDE METAL BRACKETS AS REQUIRED TO SUPPORT COUNTERS AND SHELVES. BRACKETS SHOULD BE LOCATED AT ANY UNSUPPORTED LENGTH GREATER THAN 36". PAINT BRACKETS TO MATCH ADJACENT WALL
9. PROVIDE BLOCKING IN WALLS WHERE NECESSARY. THESE LOCATIONS CONSIST OF, BUT ARE NOT LIMITED TO THE FOLLOWING: TOILET ACCESSORIES, TACKBOARDS, HANDRAILS, WALL MOUNTED EQUIPMENT AND OWNER DESIGNATED EQUIPMENT LOCATIONS.
10. ALL EXPOSED EXTERIOR SURFACES OF CASEWORK TO BE FINISHED TO MATCH THE CASEWORK
11. PAINT GRILLES AND DIFFUSERS TO MATCH ADJACENT WALL
12. COORDINATE ALL CABINETY SIZES WITH APPLIANCES
13. ALL DIMENSIONS ARE FROM FINISHED FACE TO FINISHED FACE UNLESS INDICATED OTHERWISE



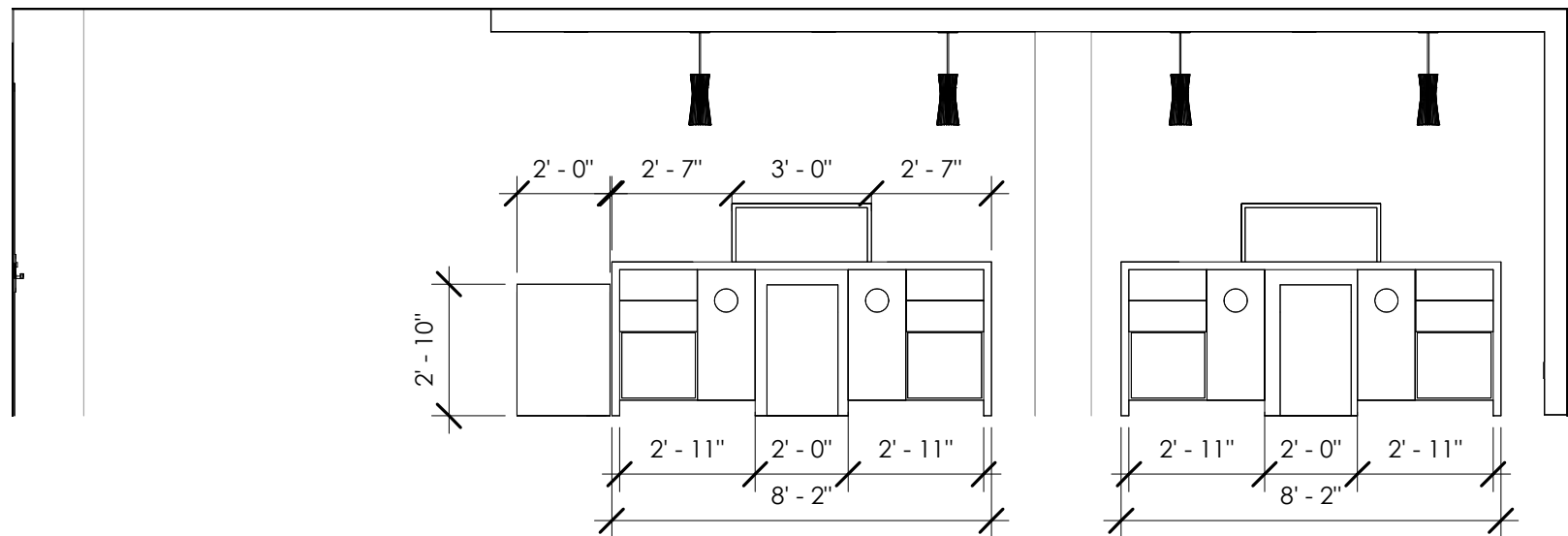
1 104 - LOBBY - N
A300 1/4" = 1'-0"



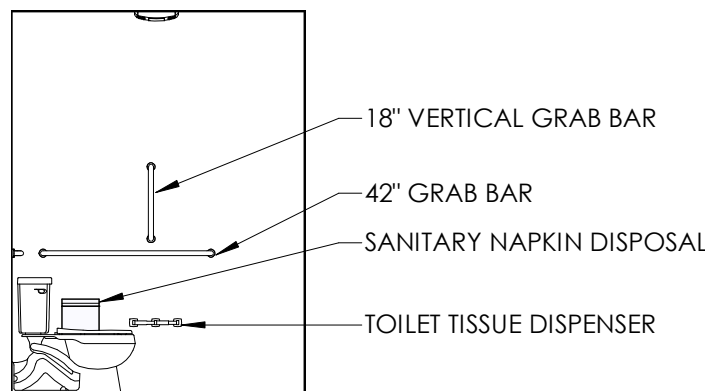
2 104 - LOBBY - E
A300 1/4" = 1'-0"



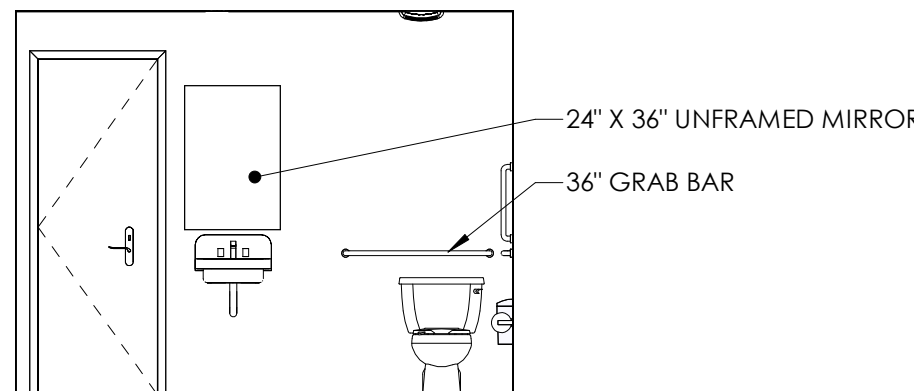
3 104 - LOBBY - S
A300 1/4" = 1'-0"



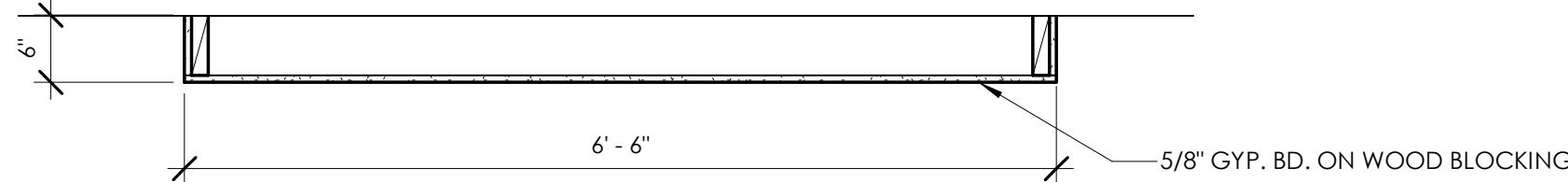
4 104 - LOBBY - N2
A300 1/4" = 1'-0"



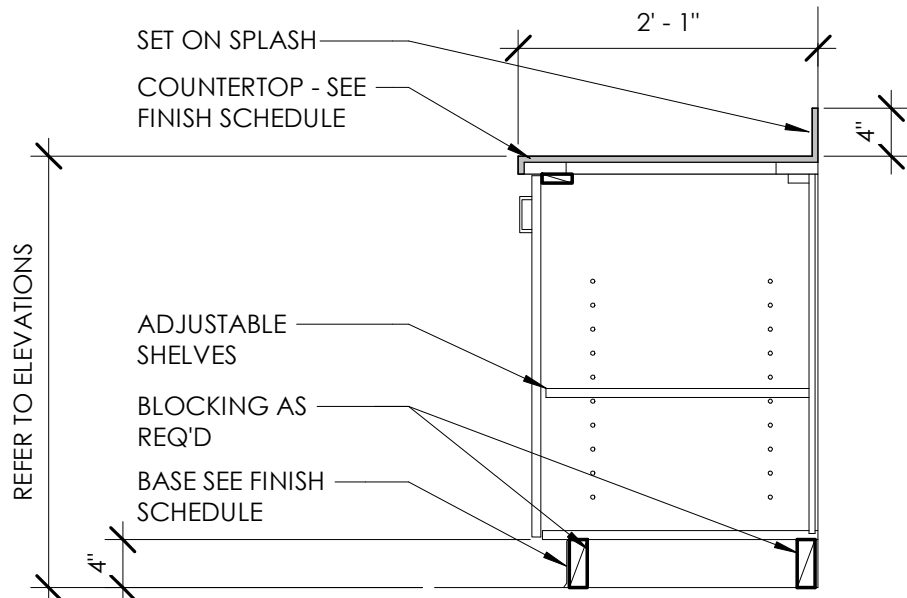
5 112 TOILET - N
A300 1/4" = 1'-0"



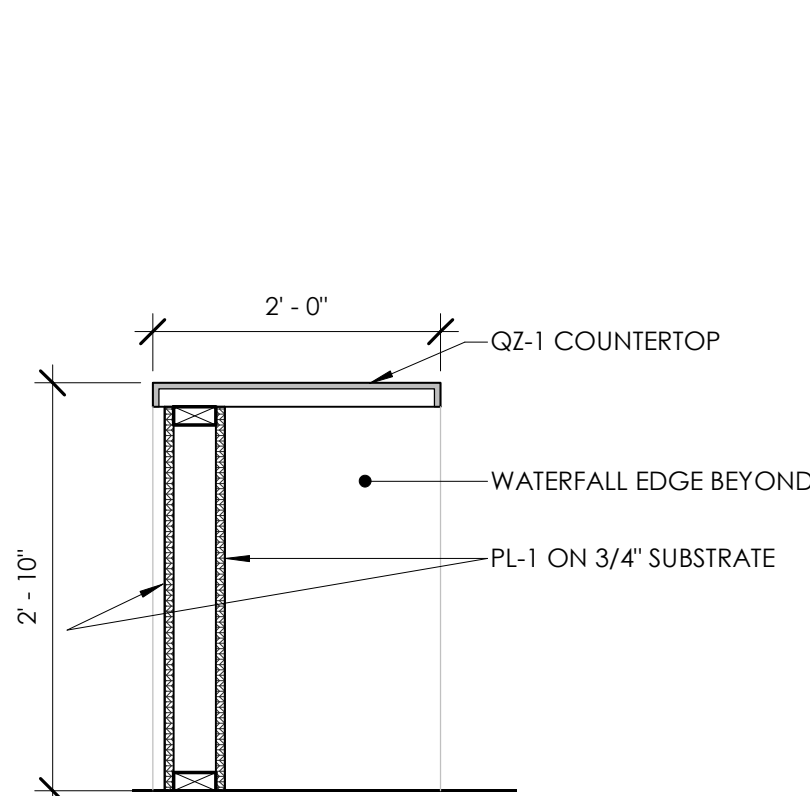
6 112 TOILET - W
A300 1/4" = 1'-0"



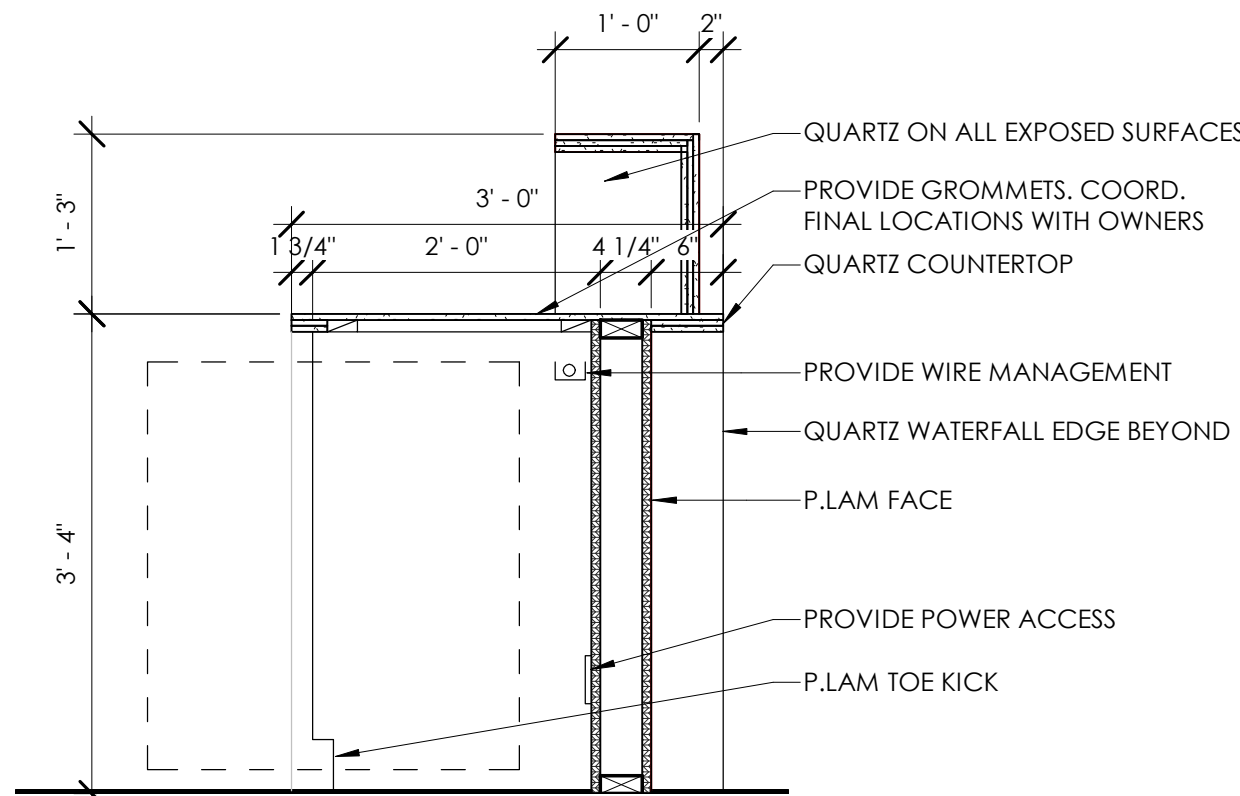
9 CEILING FEATURE
A300 3/4" = 1'-0"



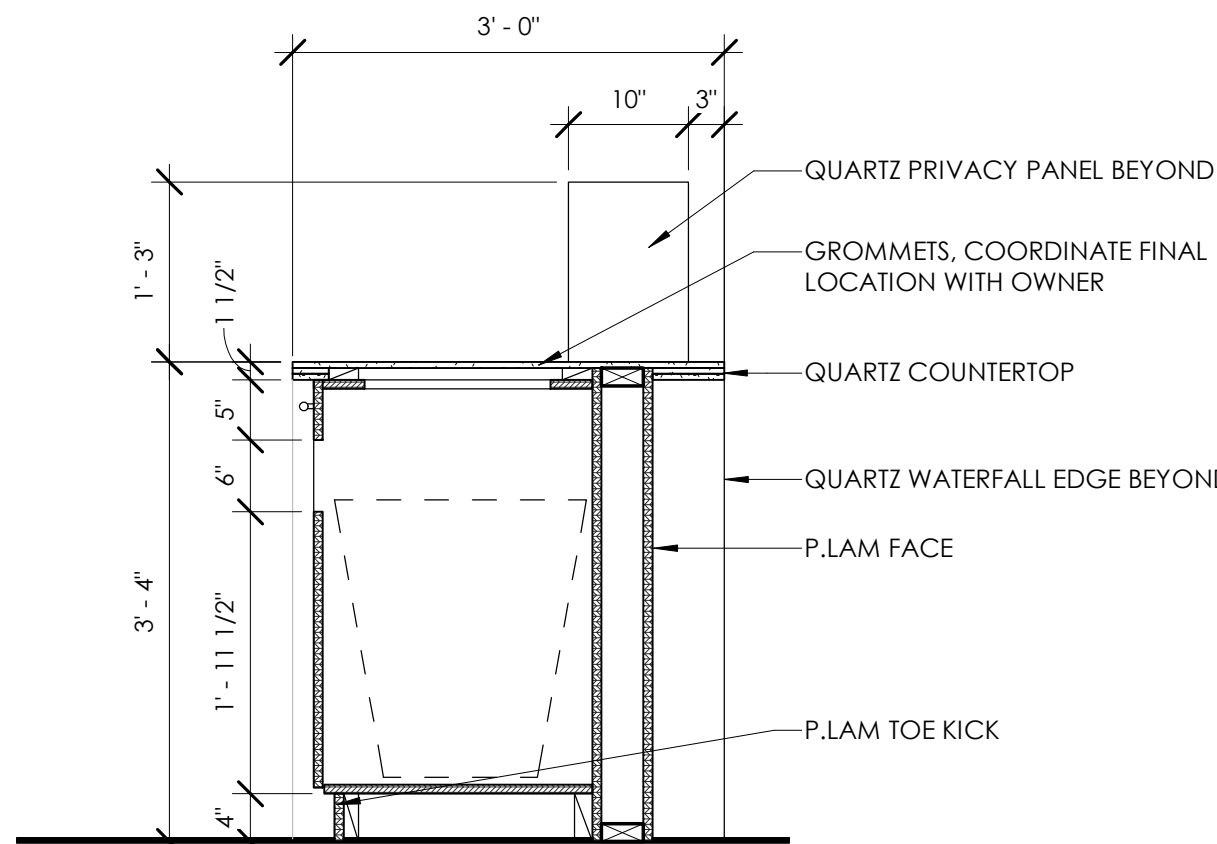
7 BASE - DOOR - SS TOP
A300 3/4" = 1'-0"



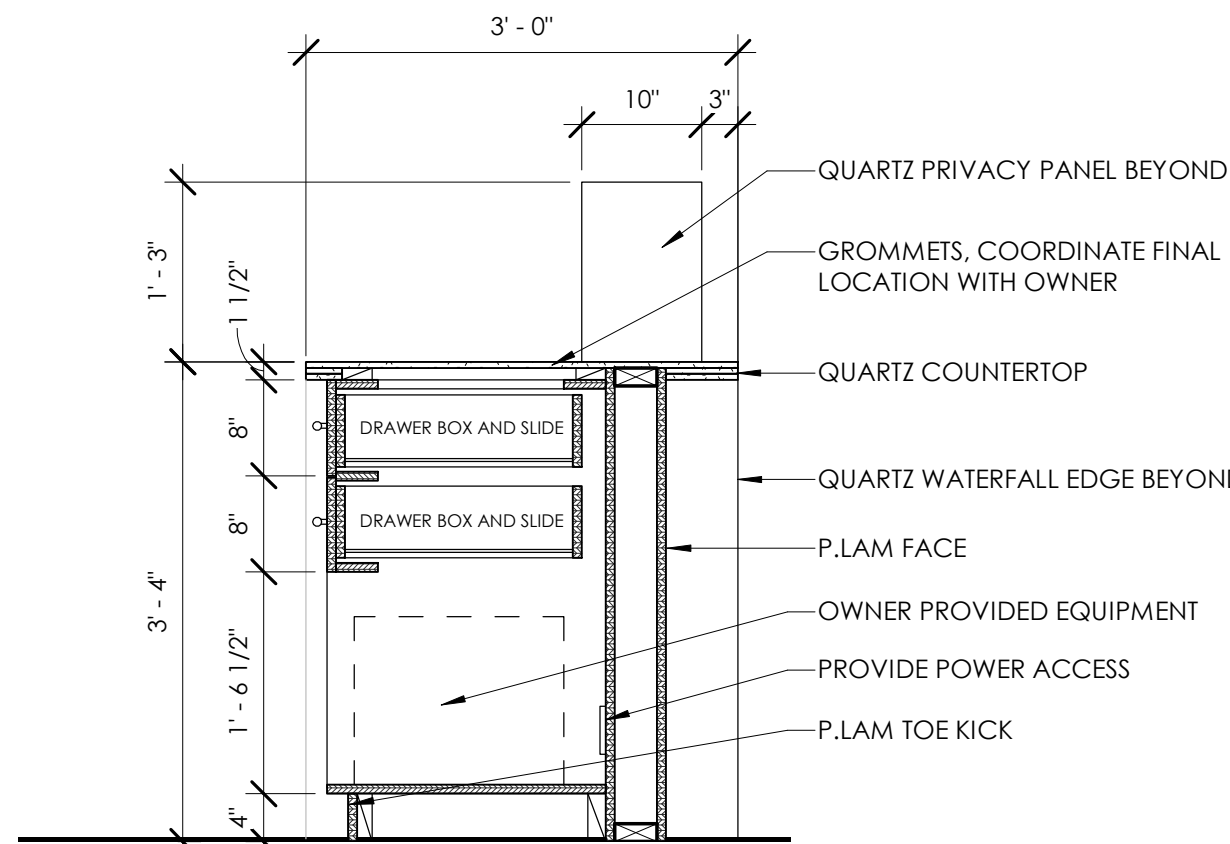
8 ADA COUNTER
A300 3/4" = 1'-0"



10 POD DETAIL 1
A300 3/4" = 1'-0"



11 POD DETAIL 2
A300 3/4" = 1'-0"



12 POD DETAIL 3
A300 3/4" = 1'-0"

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INTERIOR ELEVATIONS

A300



GENERAL NOTES

EXISTING EXTERIOR SIDING TO REMAIN. PAINT ALL EXISTING SHUTTERS IPS-2. THERE ARE NO OTHER PROPOSED CHANGES TO THE EXTERIOR OF THE BUILDING.



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EXTERIOR ELEVATIONS

A400



MECHANICAL NOTES

- 1. ALL EXISTING DUCTWORK AND MECHANICAL IS TO REMAIN. THE EXISTING FURNANCE AND A/C UNIT ARE TO BE SERVICED AND REPAIRED/REPLACED AS REQUIRED.
- 2. ELECTRICAL CONTRACTOR TO SECURE AND PAY FOR ALL PERMITS AND FEES.
- 3. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES FOR INSTALLATION OF ALL EQUIPMENT. INSTALL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
- 4. ALL WIRING SHALL BE COPPER NO. 12 AWG MINIMUM SIZE, TYPE THNN/THXX INSULATION.
- 5. ALL WIRING SHALL BE INSTALLED IN A METALLIC CONDUIT SYSTEM. RUN ALL NEW CONDUIT CONCEALED IN FINISHED AREAS.
- 6. ALL RECEPTACLES SHALL BE 20 AMP, GROUNDING TYPE, MATCHING EXISTING COLOR AND COVERPLATES. PROVIDE GFCI TYPES WHERE SHOWN AND ANYWHERE WITHIN SIX FEET OF A PLUMBING FIXTURE. VERIFY AND COORDINATE ALL POWER OUTLETS TYPES AND LOCATIONS WITH OWNER PRIOR TO INSTALLATIONS.
- 7. ALL LIGHT SWITCHES SHALL BE SILENT TYPE, 20 AMP., TO MATCH EXISTING.
- 8. MAXIMUM LOAD FOR A 20 AMP BREAKER SHALL BE 15 AMPS OR 1800 WATTS AT 120 VAC.
- 9. PROVIDE NEW TYPED PANEL INDEXES ON ALL ELECTRICAL PANELS THAT WERE REVISED.
- 10. LIGHTING SHOWN SCHEMATICALLY ON REFLECTED CEILING PLAN, CENTER LIGHTINGS IN ROOM UNLESS NOTED OTHERWISE.
- 11. ELECTRICAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS.
- 12. GUARANTEE ELECTRICAL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE.
- 13. IT IS UNDERSTAND AND AGREED BY THE INSTALLER THAT WORK HEREIN DESCRIBED SHALL BE COMPLETE IN EVERY DETAIL, EVEN THOUGH EVERY ITEM INVOLVED IS NOT PARTICULARLY MENTIONED. INSTALLER SHALL BE HELD TO PROVIDE ALL LABOR AND MATERIALS NECESSARY FOR THE WORK INTENDED AND DESCRIBED FOR A COMPLETE AND OPERATIONAL SYSTEM. SUCH MATERIALS SHALL INCLUDE, BUT ARE NOT LIMITED TO, CONDUIT, FITTINGS, COVERPLATES, WIRING, BREAKERS, CONTROL DEVICES, LIGHTING ACCESSORIES, ETC. THIS ALSO INCLUDES EQUIPMENT REQUIRED BY STATE AND LOCAL CODES.
- 14. ELECTRICAL AND DATA OUTLETS ARE SHOWN SCHEMATICALLY IN NATURE, REVIEW FINAL PLACEMENT WITH OWNER BEFORE INSTALL.
- 15. THE ELECTRICAL SYSTEM IS TO BE A DESIGN BUILD SYSTEM. IT IS TO BE DESIGNED, PROVIDED, AND INSTALLED BY A LICENSED ELECTRICAL CONTRACTOR OR ENGINEER IN THE STATE OF MICHIGAN. THE SYSTEM IS TO BE DESIGNED TO MEET ALL APPLICABLE MICHIGAN ELECTRICAL CODES IN FORCE AT THE TIME OF INSTALLATION AND INSPECTION. ANY ELECTRICAL SHOWN IS FOR REFERENCE ONLY AND HAS BEEN DESIGNED BY A LICENSED CONTRACTOR. THE ARCHITECT DOES NOT TAKE ANY LIABILITY FOR THESE SYSTEMS.

ELECTRICAL NOTES

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRIC CODE AND ALL AUTHORITIES HAVING JURISDICTION.
- 2. ELECTRICAL CONTRACTOR TO SECURE AND PAY FOR ALL PERMITS AND FEES.
- 3. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES FOR INSTALLATION OF ALL EQUIPMENT. INSTALL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
- 4. ALL WIRING SHALL BE COPPER NO. 12 AWG MINIMUM SIZE, TYPE THNN/THXX INSULATION.
- 5. ALL WIRING SHALL BE INSTALLED IN A METALLIC CONDUIT SYSTEM. RUN ALL NEW CONDUIT CONCEALED IN FINISHED AREAS.
- 6. ALL RECEPTACLES SHALL BE 20 AMP, GROUNDING TYPE, MATCHING EXISTING COLOR AND COVERPLATES. PROVIDE GFCI TYPES WHERE SHOWN AND ANYWHERE WITHIN SIX FEET OF A PLUMBING FIXTURE. VERIFY AND COORDINATE ALL POWER OUTLETS TYPES AND LOCATIONS WITH OWNER PRIOR TO INSTALLATIONS.
- 7. ALL LIGHT SWITCHES SHALL BE SILENT TYPE, 20 AMP., TO MATCH EXISTING.
- 8. MAXIMUM LOAD FOR A 20 AMP BREAKER SHALL BE 15 AMPS OR 1800 WATTS AT 120 VAC.
- 9. PROVIDE NEW TYPED PANEL INDEXES ON ALL ELECTRICAL PANELS THAT WERE REVISED.
- 10. LIGHTING SHOWN SCHEMATICALLY ON REFLECTED CEILING PLAN, CENTER LIGHTINGS IN ROOM UNLESS NOTED OTHERWISE.
- 11. ELECTRICAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS.
- 12. GUARANTEE ELECTRICAL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE.
- 13. IT IS UNDERSTAND AND AGREED BY THE INSTALLER THAT WORK HEREIN DESCRIBED SHALL BE COMPLETE IN EVERY DETAIL, EVEN THOUGH EVERY ITEM INVOLVED IS NOT PARTICULARLY MENTIONED. INSTALLER SHALL BE HELD TO PROVIDE ALL LABOR AND MATERIALS NECESSARY FOR THE WORK INTENDED AND DESCRIBED FOR A COMPLETE AND OPERATIONAL SYSTEM. SUCH MATERIALS SHALL INCLUDE, BUT ARE NOT LIMITED TO, CONDUIT, FITTINGS, COVERPLATES, WIRING, BREAKERS, CONTROL DEVICES, LIGHTING ACCESSORIES, ETC. THIS ALSO INCLUDES EQUIPMENT REQUIRED BY STATE AND LOCAL CODES.
- 14. ELECTRICAL AND DATA OUTLETS ARE SHOWN SCHEMATICALLY IN NATURE, REVIEW FINAL PLACEMENT WITH OWNER BEFORE INSTALL.
- 15. THE ELECTRICAL SYSTEM IS TO BE A DESIGN BUILD SYSTEM. IT IS TO BE DESIGNED, PROVIDED, AND INSTALLED BY A LICENSED ELECTRICAL CONTRACTOR OR ENGINEER IN THE STATE OF MICHIGAN. THE SYSTEM IS TO BE DESIGNED TO MEET ALL APPLICABLE MICHIGAN ELECTRICAL CODES IN FORCE AT THE TIME OF INSTALLATION AND INSPECTION. ANY ELECTRICAL SHOWN IS FOR REFERENCE ONLY AND HAS BEEN DESIGNED BY A LICENSED CONTRACTOR. THE ARCHITECT DOES NOT TAKE ANY LIABILITY FOR THESE SYSTEMS.

ELECTRICAL/LIGHTING SYMBOLS

TAG/SYMBOL	MANUFACTURER & DESCRIPTION	MODEL # / URL
⦿	PENDANT	OWNER SELECTED
⦿	LITHONIA 6" RECESSED CAN LIGHT	LDN6; https://lithonia.acuitybrands.com/products/detail/1112971/lithonia-lighting/contractor-select-ldn6-round-series
⦿	BROAN EXHAUST FAN WITH LED LIGHT, 110 CFM	NUTONE FLEX SERIES; www.broan-nutone.com/en-us/product/ventilationfans/791ledntm
⦿	LITHONIA EXIT-UNIT COMBO	LHQM LED; https://lithonia.acuitybrands.com/products/detail/48281/lithonia-lighting/lhqm-led/quantum-led-exit-unit-combo

ELECTRICAL SYMBOLS

	THREE-WAY SWITCH
	SWITCH
	GROUNDING FAULT INTERCEPTOR OUTLET
	QUADRUPLEX OUTLET
	DUPLEX OUTLET
	FLOOR QUADRUPLEX OUTLET

PLUMBING NOTES

- 1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, AND LAWS.
- 2. ARRANGE AND PAY FOR ALL PERMITS AND INSPECTIONS AS REQUIRED.
- 3. ALL WORK SHALL BE PERFORMED TO FACILITATE EXPEDITIOUS PROGRESS ON THE WHOLE PROJECT. COORDINATE WORK WITH OTHER TRADES TO MINIMIZE AND RESOLVE POTENTIAL CONFLICTS.
- 4. THE DRAWINGS ARE DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL PROVIDE FITTINGS, OFFSETS, ETC., AS NECESSARY TO PROVIDE COMPLETE SYSTEMS.
- 5. FURNISH AND INSTALL ALL VALVING FOR THE PROPER SECTIONALIZING AND OPERATION OF PIPING SYSTEMS. PROVIDE ACCESS PANELS AS REQUIRED FOR ACCESS TO VALVES.
- 6. ALL PIPES PASSING THROUGH FINISHED WALLS, PARTITIONS, AND FLOORS SHALL BE FITTED WITH ADJUSTABLE ESCUTCHEONS, AND APPROPRIATE FIRE STOPPING WHERE REQUIRED.
- 7. ATTACH ALL FIXTURES TO SUPPORTING SURFACES PLUMB AND LEVEL. WALL HUNG UNITS SHALL BE SECURELY FASTENED TO WALL BACKING. PROVIDE CHAIR CARRIERS FOR ALL LAVATORIES
- 8. WHERE FIXTURES ARE MOUNTED TO WALLS AND FLOORS, SEAL ALL INTERSECTIONS WITH DOW WHITE SILICONE CAULK.
- 9. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY DETAIL OF CONSTRUCTION. CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS NECESSARY FOR A COMPLETE CODE COMPLYING SYSTEM.
- 10. ALL WORK AND MATERIALS SHALL BE GUARANTEED IN WRITING FOR ONE YEAR FROM PROJECT COMPLETION.
- 11. PLUMBING CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS.
- 12. SLOPE ALL NEW SANITARY PIPING A MIN. OF 1/8" PER FOOT.
- 13. SANITIZE ALL NEW HOT & COLD WATER LINES PER LOCAL WATER DEPARTMENT REQUIREMENTS. FLUSH AND TEST SYSTEM FOR LEAKS. MECHANICAL CONTRACTOR IS RESPONSIBLE FOR PROPER LEAK-FREE OPERATION OF SYSTEM. SOLDER JOINTS WITH NON-LEAD SOLDER.
- 14. PROVIDE DI-ELECTRIC FITTINGS WHERE DISSIMILAR METALS ARE CONNECTED.
- 15. SUPPLY ALL NECESSARY TRIM, P-TRAPS, AND ANGLE STOPS AT EACH PLUMBING FIXTURE.
- 16. FIXTURES ARE TO BE PROVIDED BY OWNER AND INSTALLED BY THE PLUMBING CONTRACTOR PER THE MANUFACTURER'S RECOMMENDATIONS.
- 17. INSULATE ALL COLD WATER LINES WITH 1" MINERAL FIBER INSULATION WITH VAPOR BARRIER. INSULATE ALL HOT WATER LINES WITH 1" FIBERGLASS.
- 18. DRAIN, VENT AND WASTE PIPING SHALL BE SCHEDULE DWV PVC. CLEAN OUTS IN FINISHED AREAS SHALL BE RECESSED AND HAVE CHROME OR BRASS COVER PLATES FLUSH WITH THE FINISHED FLOOR.
- 19. PROVIDE SHUTOFF VALVES ON HOT & COLD WATER BRANCH PIPING TO ISOLATE BRANCH.
- 20. INSTALL EACH FIXTURE WITH TRAP, EASILY REMOVABLE FOR SERVICE AND CLEANING.
- 21. INSTALL PIPING TO ALLOW FOR EXPANSION AND CONTRACTION WITHOUT STRESSING PIPE, JOINTS, OR CONNECTED EQUIPMENT.
- 22. FURNISH AND INSTALL WATER HAMMER ARRESTERS IN ACCORDANCE WITH PDI WH201.
- 23. LAY OUT PLUMBING WORK TO AVOID CONFLICTS WITH OTHER BUILDING COMPONENTS. ESTABLISH ELEVATION OF PUBLIC SEWER SYSTEM.
- 24. THE PLUMBING SYSTEMS ARE TO BE A DESIGN BUILD SYSTEM. IT IS TO BE DESIGNED, PROVIDED, AND INSTALLED BY A LICENSED PLUMBING CONTRACTOR OR ENGINEER IN THE STATE OF MICHIGAN. THE SYSTEM IS TO BE DESIGNED BY A LICENSED PLUMBING CONTRACTOR OR ENGINEER IN THE STATE OF MICHIGAN. ANY PLUMBING SHOWN IS FOR REFERENCE ONLY. THE ARCHITECT DOES NOT TAKE ANY LIABILITY FOR THESE SYSTEMS.

PLUMBING FIXTURES

WC-1
WATER CLOSET (TANK TYPE) WC-1
WATER CLOSET (FLOOR MOUNTED): KOHLER WELLWORTH CLASSIC. TWO-PIECE ELONGATED 1.6 GPF TOILET, K-3505-SS, VITREOUS CHINA, EQUIPPED WITH SLOAN FLUSHMATE POLISHED CHROME LEFT HANDED LEVER, WITH ANTIMICROBIAL FINISH, WHITE IN COLOR. CONTRACTOR TO SUPPLY OPEN FRONT SEAT, TO MATCH, THE TOILET IS ASME A112.19.2/CSA B45.1 AND ADA COMPLIANT

SK-1
KOHLER SOHO K-2084-0 WHITE 20" X 18" WALL-MOUNT BATHROOM SINK WITH SINGLE FAUCET HOLE KOHLER KUMIN K-98827-4-CP POLISHED CHROME SINGLE-HANDLE BATHROOM SINK FAUCET

DF-1
ELKAY HIGH-LO DRINKING FOUNTAIN EZSTL8C

MB-1
MOP BASIN: ONE PIECE MOLDED IN STONE 10" HIGH 24" X 24" BASIN WITH 1" SHOULDERS AND TILING FLANGES AS REQUIRED, FURNISH WITH FACTORY INSTALLED STAINLESS STEEL 3" DRAIN BODY WITH REMOVABLE STAINLESS STEEL STRAINER. MUSTEE MODEL 63M DURASTONE OR EQUAL FAUCET SHALL BE CHICAGO FAUCET MODEL 897-CRCF WITH INTEGRAL CHECK VALVES, ROUGH CHROME PLATED CAST BRASS COMBINATION SERVICE SINK FITTING WITH VACUUM BREAKER, 3/4" THREADED HOSE SPOUT, WALL BRACE, PAIL HOOK, ADJUSTABLE FLANGED FEMALE SUPPLY ARMS AND INTEGRAL STOPS. PROVIDE WITH MUSTEE MODEL 65.600 MOP HOLDER OR EQUAL AND WITH MUSTEE MODEL 65.700 HOSE AND SS HOSE HANGER BRACKET OR EQUAL



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MECH, ELEC, PLUMB SPECS/NOTES

MEP101